

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
JUNE 9, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

(I) CALL TO ORDER

(II) OPEN FORUM

(III) APPOINTMENTS

- (1) Appointment with an Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

(IV) CONSENT AGENDA

- (2) Approval of Minutes for the May 28, 2020 Planning and Zoning Commission meeting.

(3) **P2020-019 (DAVID GONZALES)**

Discuss and consider a request by Robert Gunby of Royse City Business Ventures for the approval of a Replat for Lot 9, Block C, Remington Park, Phase 2 Addition being a 3.04-acre tract of land identified as Lots 1 & 2, Block C, Remington Park, Phase 2 Addition, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 3958 & 3966 Ruger Drive, and take any action necessary.

(4) **P2020-020 (DAVID GONZALES)**

Discuss and consider a request by Clint Vincent of Bloomfield Homes, LP for the approval of a Final Plat for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 54.995-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochelle Road south of SH-276, and take any action necessary.

(V) PUBLIC HEARING ITEMS

(5) **Z2020-018 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Rex and Beverly Fithian for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 3.03-acre parcel of land identified as Lot 1, Block A, Hodgdon Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 1055 Dalton Road, and take any action necessary.

(6) **Z2020-019 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by J. W. Jones for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a portion of Lot 1050 and all of Lot 1051, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.

(7) **Z2020-020 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Brian Bader on behalf of Victoria Kaprantzas for the approval of a Specific Use Permit (SUP) for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport on a 0.81-acre tract of land identified as Tract 27 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1308 Ridge Road, and take any action necessary.

(8) **Z2020-021 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Donald and Cathy Wallace for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for a four (4) acre tract of land identified as a portion of Tract 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located northeast of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

(9) **Z2020-022 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Brad Johnson for the approval of a Specific Use Permit (SUP) for Detached Garage that exceeds the maximum square footage on a 0.666-acre parcel of land identified as Block 38 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 803 Kernodle Street, and take any action necessary.

(VI) **ACTION ITEMS**

(10) **P2020-021 (DAVID GONZALES)**

Discuss and consider a request by Angel Hernandez for the approval of a Preliminary Plat for Lots 1-5, Block A, Hernandez Addition being a ten (10) acre tract of land identified as Tract 8-05 of the J. Merriman Survey, Abstract No. 155, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 3533 Backland Road, and take any action necessary.

(11) **SP2020-005 (DAVID GONZALES)**

Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Grey Stogner of Metroplex Acquisition Fund, LP for the approval of a Site Plan for a daycare center on an eight (8) acre tract of land being identified as a portion of Lot 8, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located north of the intersection of Stone Creek Drive and Miramar Drive, and take any action necessary.

(12) **SP2020-009 (RYAN MILLER)**

Discuss and consider a request by Mallory Laremore on behalf of Corby Bell and Mandy Norman for the approval of a Site Plan for an office building on a 0.330-acre tract of land identified as Tract 23 of the B. J. T. Lewis Survey, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed 1006 Ridge Road, and take any action necessary.

(VII) **DISCUSSION ITEMS**

(13) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- Z2020-011: SUP for an Accessory Building at 323 Julian Drive **(APPROVED; 2ND READING)**

(VIII) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on June 5, 2020 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
MAY 26, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 *IN LIEU OF ATTENDING IN PERSON AND IN AN EFFORT TO COMPLY WITH CDC RECOMMENDATIONS REGARDING*
3 *SOCIAL DISTANCING, SPECIAL NOTES PERTAINING TO "REMOTELY" OR "VIRTUALLY" PARTICIPATING IN TONIGHT'S*
4 *PLANNING AND ZONING COMMISSION WORK SESSION MEETING ARE AS FOLLOWS:*
5

6 SUBMIT COMMENTS VIA EMAIL

7
8 Citizens are encouraged to submit public forum comments at least 30 minutes in advance of the meeting by emailing them to
9 Planning@Rockwall.com. Please include your name and address when submitting comments. Also, please be concise and limit your comments
10 so that it may be read within three (3) minutes.

11 12 CITIZENS WATCHING THE MEETING

13
14 The public may watch the meeting *live* online by visiting the following link: <http://www.rockwall.com/meetings/video.asp>

15
16 NOTE: Please do not try to watch the meeting live and participate via ZOOM at the same time. There is a timing difference between the two
17 streams. If you feel you need to watch live and also participate (as an applicant *only*) in the meeting via ZOOM, please mute the live stream
18 audio (*as it is delayed compared to ZOOM*).

19 20 APPLICANTS PARTICIPATING IN THE MEETING

21
22 Applicants that wish to participate in the meeting virtually by joining with ZOOM, either via a computer, mobile device, and or telephone should
23 follow the following instructions:

- 24
25 (1) Register in advance to participate in the Planning and Zoning Commission Work Session meeting at this link:
26 https://us02web.zoom.us/webinar/register/WN_noSblulHTjehUNVEHNqY4g
27 (2) After registering, you will receive a confirmation email containing information about joining the meeting. Alternatively, you can join via
28 telephone at:

29
30 US: (301) 715-8592 or (312) 626-6799
31 Webinar ID: 334-916-504

32
33 NOTE: Press *9 to request to speak or to cancel your request. You will be acknowledged to provide comments during the meeting.

34
35 SPECIAL NOTES: Only the two-way 'audio' feature of ZOOM will be utilized during the meeting. No ZOOM video will be used. If you are
36 watching remotely via the live stream, please note there is a seven (7) second delay, whereas, ZOOM is in real time.
37

38 39 I. CALL TO ORDER

40
41 **Vice-Chairman Jerry Welch called the meeting to order at 6:10 PM. The Commissioners present at the meeting were John Womble,**
42 **Sedric Thomas, and Mark Moeller. Chairman Eric Chodun, Commissioners Tracey Logan and Annie Fishman were present via**
43 **ZOOM. Staff members present were Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David Gonzales,**
44 **Planning and Zoning Coordinator Angelica Gamez and City Engineer Amy Williams. Absent from the meeting were Civil Engineers**
45 **Sarah Johnston and Jeremy White.**

46 47 II. OPEN FORUM

48
49 **Vice-Chairman Welch explained how open forum is conducted and asked if anyone wished to speak to come forward at this time.**
50 **There being no one coming forward, Vice-Chairman Welch closed the open forum.**

51 52 III. APPOINTMENTS

- 53
54 1. Appointment with the Planning and Zoning Director to receive the Architectural Review Board's recommendations and comments
55 for items on the agenda requiring architectural review.

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57 **Planning and Zoning Director Ryan Miller gave a brief summary of the recommendations provided by the Architectural Review**
58 **Board.**

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IV. CONSENT AGENDA

2. Approval of Minutes for the May 12, 2020 Planning and Zoning Commission meeting.

Commissioner Mark Moeller made a motion to approve the consent agenda. Commissioner Thomas seconded the motion which passed by a vote of 7-0.

V. ACTION ITEMS

3. **MIS2020-007 (RYAN MILLER)**

Discuss and consider a request by Diane Mullenix for the approval of a Special Exception to the fence standards for an existing single-family home on a 0.0810-acre parcel of land identified as Lot 8, Block F, Chandlers Landing, Phase 17 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 5541 Canada Court, and take any action necessary.

Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. The applicant is requesting a special exception for the purpose of permitting a fence that was already built. The applicant is requesting this for a townhome and the townhome that is currently on the property is 1,534 square feet and was built in 1987. Originally, the applicant was looking to rehab a 44 foot section of their fence and received approval by their homeowners association. However, the applicant was unaware that they needed a permit from the City in order to build/replace anything over 25 linear feet or anything over five (5) posts. Upon realizing that she needed a permit, the applicant did submit an application but the material she used was pine. According to the Unified Development Code, the approved material is cedar and it should be about an inch and a half thick. She applied for a special exception and it allows the Planning and Zoning Commission to look at alternatives on a case by case basis and approve alternative materials then what the fencing ordinance allows. The approval of any exception is a discretionary decision to the Planning and Zoning Commission. Mr. Miller then advised Staff that the applicant and Staff were present to answer questions.

Vice-Chairman Welch had a question in regards to the Commission only being able to make a decision on the fence material and not on the lattice work that sits on top of the fence. Planning and Zoning Director Ryan Miller explained that the lattice work is comparable to others in the area. He also added that the structure of it does meet the code as opposed to the material.

Vice-Chairman Welch asked if the applicant was present.

Since the applicant was not present Vice-Chairman Welch asked brought the item back to the Commission for discussion or action.

Commissioner Thomas made a motion to approve item MIS2020-007 with staff recommendations. Commissioner Womble seconded that motion which passed by a vote of 7-0.

VI. DISCUSSION ITEMS

4. **Z2020-018 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Rex and Beverly Fithian for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 3.03-acre parcel of land identified as Lot 1, Block A, Hodgdon Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 1055 Dalton Road, and take any action necessary.

Planning and Zoning Director Ryan Miller advised the Commission that the applicants were present and asked them to come down.

**Rex Fithian
1055 Dalton Road
Rockwall, TX**

The applicant came forward and provided a brief summary in regards to the request. He also wanted clarification as to the description "Residential Infill in an Established Subdivision." Planning and Zoning Director Ryan Miller explained that the term "Residential Infill" was adopted in September 1, 2019 and that ordinance requires any infill development in an established subdivision, what the meaning of "subdivision" be required to obtain a Specific Use Permit (SUP). The ordinance also requires any home within 500 feet of an established subdivision to be notified to ensure that the discretionary oversight

119 is paid, and isn't adverse to the current aesthetics of those subdivisions. In this case, the applicant is adjacent to the
120 neighborhood to the East and they share a common boundary so that is why the SUP was enforced. Mr. Miller explained to
121 the board that this home faces Dalton Road, is on a larger estate lot, which means the applicant is building a larger estate
122 home as shown in the exhibits in the PowerPoint. Another thing to point out is that the plans indicate a future guest house
123 and accessory structure that will be built at the same time as the primary home. Planning and Zoning Director Ryan Miller
124 explained that he had already spoken to the applicant and the accessory structure does meet all of the requirements but the
125 applicant will have to submit another SUP for the guest house. With that being said, the request does meet all other zoning
126 requirements.

127
128 Vice-Chairman Welch asked whether or not the applicant would have to pay dues to a Homeowners Association but Mr.,
129 Miller explained that the applicant does not live within the neighborhood so he wouldn't be responsible for that.

130
131 There being no further questions Vice-Chairman Welch indicated the case will return to the Commission for action at the
132 next scheduled meeting on June 9, 2020.
133

134
135 5. **Z2020-019 (RYAN MILLER)**

136 Hold a public hearing to discuss and consider a request by J. W. Jones for the approval of a Specific Use Permit (SUP) for
137 Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land
138 identified as a portion of Lot 1050 and all of Lot 1051, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas,
139 zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and
140 take any action necessary.
141

142 The applicant came forward.

143
144 **J.W. Jones**
145 **555 North 5th Street**
146 **Suite 114**
147 **Garland, TX 75040**
148

149 The applicant (JW Jones) came forward and provided a brief summary in regards to the request. He explained that the
150 applicants are currently living in a mobile home on the lot but will remove it once the home is completed. He added that they
151 had spoken to Building Inspections department and they were told that they did not need a Specific Use Permit until they
152 submitted their plans so he recommended that a better process take place.
153

154 Chairman Chodun had a question in regards to the location of the mobile home but the applicant explained that the family
155 will be living in it until the house is built. Planning and Zoning Director Ryan Miller clarified that the utilities will not be turned
156 on in the house until the existing mobile home is removed.
157

158 Planning and Zoning Director Ryan Miller asked whether or not there was not going to be a garage on the house or if the
159 carport was going to be left in place. Mr. Jones replied that there is not an existing carport in the area, only a small covered
160 patio that's part of the existing mobile home.
161

162 There being no further questions Vice-Chairman Welch indicated the case will return to the Commission for action at the
163 next scheduled meeting on June 9, 2020.
164

165 6. **Z2020-020 (RYAN MILLER)**

166 Hold a public hearing to discuss and consider a request by Brian Bader on behalf of Victoria Kaprantzas for the approval of a
167 Specific Use Permit (SUP) for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport on a 0.81-acre tract of
168 land identified as Tract 27 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single-Family
169 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1308 Ridge Road, and take any action
170 necessary.
171

172 The applicant came forward.

173
174 **Brian Bader/Victoria Kaprantzas**
175 **20603 CR 31**
176 **Quinlan, TX 75474**
177

178 The applicant came forward and provided a brief summary in regards to the request. He explained that the adjacent property
179 of the house was built in 1983 and the original house was built in the late 1960s. Both of these will be completely renovated.
180 The plan for this new living area is for the daughter of Victoria Kaprantzas to move in. He added that Carroll Architects will
181 be drawing up the plans for the renovation.
182

183 Planning and Zoning Director Ryan Miller added that the reason this project was going before the Commission was that the
184 applicant indicated that the home was built in 1978 and it was 1,800 square feet. The Planning and Zoning Department allows
185 accessory dwelling units to be up to 30% of the main structure, which in this case, the main structure is 3,276 square feet.
186 Additionally, they are adding a carport exceeding the maximum size allowed which is 500 square feet. The carport is also
187 supposed to be integrated to the primary structure and not the accessory structure as shown in this case. In order to begin
188 construction, the family would have to demolish the existing garage and demolition was started without a permit. The
189 applicant did have one taken out by the time the meeting had begun making the property in compliance.
190

191 Commissioner Logan asked if it were two different properties instead of one. Mr. Miller explained that the building footprint
192 on this building was not changing because there is an older structure out on the property with a detached garage. In the
193 ordinance located inside the Commissioner's packets, there was a condition put in place that reads that the property cannot
194 be subdivided in a manner that would make these two properties separate.
195

196 Mr. Miller then asked if the applicant could provide the Commission with any elevations as to how the carport was going to
197 be arranged.
198

199 There being no further questions Vice-Chairman Welch indicated the case will return to the Commission for action at the
200 next scheduled meeting on June 9, 2020.
201

202 **7. Z2020-021 (DAVID GONZALES)**

203 Hold a public hearing to discuss and consider a request by Donald and Cathy Wallace for the approval of a Zoning Change from an
204 Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for a four (4) acre tract of land identified as a portion of
205 Tract 44-01 of the W. W. Ford Survey, Abstract No. 123, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District,
206 generally located northeast of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.
207

208 The applicants came forward.
209

210 **Cathy Wallace**
211 **330 H. Wallace Lane**
212 **Rockwall, TX 75032**
213

214 **Amie Wallace**
215 **2305 Falls View**
216 **Rockwall, TX 75087**
217

218 The applicant came forward and provided a brief summary in regards to the request. Planning and Zoning Manager David
219 Gonzales added that the applicants will be returning to request to rezone the property to Single-Family Estate 2.0 (SFE-2.0)
220 lots.
221

222 There being no further questions Vice-Chairman Welch indicated the case will return to the Commission for action at the
223 next scheduled meeting on June 9, 2020.
224

225 **8. Z2020-022 (RYAN MILLER)**

226 Hold a public hearing to discuss and consider a request by Brad Johnson for the approval of a Specific Use Permit (SUP) for
227 Detached Garage that exceeds the maximum square footage on a 0.666-acre parcel of land identified as Block 38 of the B. F.
228 Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 803 Kernodle
229 Street, and take any action necessary.
230

231 The applicant came forward.
232

233 **Brad Johnson**
234 **803 Kernodle Street**
235 **Rockwall, TX 75087**
236

237 The applicant came forward and provided a brief summary in regards to the request. The applicant would like to build a three
238 car detached garage with a concrete drive which can happen by extending the driveway he has now.
239

240 Chairman Chodun asked how tall the garage would be and the applicant replied that it would be 13 feet 6 inches. The pitch
241 will be slightly lower than the primary residence. The applicant explained that the lot slopes on the west making the garage
242 seem almost 2 feet lower than the primary home. He also added that he's putting in a 25 foot wide sliding gate across the
243 driveway coming off of the main house.
244

245 Commissioner Moeller asked if the existing shed would be removed after the fact but the applicant explained that it was
246 already gone. The only other structure with the house would be the detached garage.
247

248 Commissioner Logan asked what kind of material would be used for the building. The applicant replied that it would be a
249 metal building.
250

251 Planning and Zoning Director Ryan Miller asked that the structure does meet all the area and zoning requirements with the
252 exception of the size. According to the Unified Development Code, the accessory structure should be architecturally
253 compatible with the primary structure. In this case, that will be a discretionary decision throughout the SUP process. If
254 approved, the lot backs up to a street and we require the same front yard setbacks to any area where it lies adjacent to the
255 street. Mr. Miller pointed out that there are other houses in the area that have accessory structures that were acquired before
256 the Unified Development Code came into place. Also, if approved, the applicant would have to follow up with an application
257 to the Board of Adjustments to allow the encroachment into the 20 feet. Mr. Miller explained that the way the property slopes
258 back towards the north side makes it almost impossible for the applicant to meet the 20 foot setback and still provide the
259 detached garage next to the driveway.
260

261 The applicant, Mr. Johnson, wanted further clarification in regards to the size variance.
262

263 Commissioner Logan asked if the neighbors would be asked for their opinion and Mr. Miller replied that notices had been
264 sent out to all homeowners and occupants within 500 feet.
265

266 The applicant added that there are several houses with a detached garage but unsure of how many are metal buildings.
267

268 There being no further questions Vice-Chairman Welch indicated the case will return to the Commission for action at the
269 next scheduled meeting on June 9, 2020.
270

271 9. **P2020-019 (DAVID GONZALES)**

272 Discuss and consider a request by Robert Gunby of Roysse City Business Ventures for the approval of a Replat for Lot 9, Block C,
273 Remington Park, Phase 2 Addition being a 3.04-acre tract of land identified as Lots 1 & 2, Block C, Remington Park, Phase 2
274 Addition, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 3958
275 & 3966 Ruger Drive, and take any action necessary.
276

277 The applicant came forward.
278

279 Luis De La Fuente
280 8235 Douglas Ave.
281 Suite 350
282 Dallas, TX 75225
283

284 The applicant came forward and provided a brief summary in regards to this request. He advised that they would like to add
285 another building that will be approximately 28,000 square feet. In order to do that, the building would be crossing property
286 lines. Essentially, they would like to joint he lots in order to have the building there.
287

288 Chairman Chodun asked what was located in the area surrounding the lot due to it looking vacant on the maps. Planning
289 and Zoning Director Ryan Miller answered that there are mostly industrial buildings on those properties. He added that any
290 engineering work needed to be done should go through the City of Rockwall's Engineering department.
291

292 There being no further questions Vice-Chairman Welch indicated the case will return to the Commission for action at the
293 next scheduled meeting on June 9, 2020.
294

295 10. **P2020-020 (DAVID GONZALES)**

296 Discuss and consider a request by Clint Vincent of Bloomfield Homes, LP for the approval of a Final Plat for Phase 1 of the Terracina
297 Estates Subdivision consisting of 110 single-family lots on a 54.995-acre portion of a larger 81.49-acre tract of land identified as

298 Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District
299 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochelle Road south of SH-276, and take
300 any action necessary.
301

302 **Planning and Zoning Manager David Gonzales advised the Commission that the applicants were present online via ZOOM**
303 **but failed to make a connection.**
304

305 **Planning and Zoning Director Ryan Miller explained to the Commission that the only reason why the case is coming before**
306 **them is because the case is also going to be presented to the Parks Board. The case would have to meet all of the technical**
307 **requirements of the Planned Development.**
308

309 **There being no further questions Vice-Chairman Welch indicated the case will return to the Commission for action at the**
310 **next scheduled meeting on June 9, 2020.**
311

312 **11. P2020-021 (DAVID GONZALES)**

313 Discuss and consider a request by Angel Hernandez for the approval of a Preliminary Plat for Lots 1-5, Block A, Hernandez Addition
314 being a ten (10) acre tract of land identified as Tract 8-05 of the J. Merriman Survey, Abstract No. 155, Rockwall County, Texas,
315 situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 3533 Backland Road, and take any action
316 necessary.
317

318 **The applicant came forward.**
319

320 **Angel Hernandez**
321 **593 Sun Valley Drive**
322 **Royse City, TX 75189**
323

324 **The applicant came forward and provided a brief summary in regards to the request. His father bought 10 acres in hopes of**
325 **dividing it and having his children live there. He added that there was a metal building and a mobile home on the property**
326 **which they want to be placed on separate lots if the request is granted. He explained that during moratorium he received**
327 **approval by the county to purchase and deliver his mobile home on what would be the third lot. After conversation with**
328 **Rockwall County, he was informed that he would have to subdivide the property. He cleared up a comment in regards to**
329 **them wanting to sell the last two lots of the land and stated that that was not true. He asked whether or not he did have to**
330 **subdivide the property and also whether or not he had to add the \$200,000- \$300,000 concrete road that was requested in**
331 **order for them to live there.**
332

333 **Planning and Zoning Manager David Gonzales explained that this was a preliminary plat that was turned in with the purpose**
334 **of subdividing the land which is why the applicant is being asked to. Also, if he's looking to go that route then he would need**
335 **to follow the guidelines for City of Rockwall's Interlocal agreement.**
336

337 **Planning and Zoning Director Ryan Miller asked the applicant if Rockwall County was asking the applicant to subdivide**
338 **because he was looking to get a septic permit. The applicant replied that he was correct. Mr. Miller added that the applicant**
339 **cannot subdivide the property in four (4) lots in the manner he presented because he does not have access. Even if the**
340 **applicant does put in a cross access easement, the Interlocal agreement requires that there be a public roadway to connect**
341 **those properties. Mr. Miller explained that the plat does not meet technical requirements at the moment and, by law, they**
342 **would have to deny it unless the applicant reconfigures the plat. The applicant is having to subdivide the property because**
343 **anytime that you want to divide lots smaller than ten (10) acres you have to go through a zoning process to ensure that a lot**
344 **is not created without access.**
345

346 **The applicant asked if he built the required roadway then would he be within requirements of subdividing the property in the**
347 **form presented. Mr. Miller replies that he would be within requirements because then all properties n that lot would have**
348 **access. The applicant asked if the road could be gravel but they replied that it has to be concrete.**
349

350 **City Engineer Amy Williams asked if the applicant of he only had one (1) existing water tie in on the property. The applicant**
351 **replied that right now there are two (2) water meters from Blackland Water Supply and a third one was to be put in for his**
352 **home coming in July. Mrs. Williams replied that Blackland Water Supply is not allowed to put another meter in off their line.**
353 **She explains that the City of Rockwall supplies them water and they are over their allotted number of meters. The will not be**
354 **able to issue another meter until there is an agreement worked out with the City of Rockwall.**
355

356 **Planning and Zoning Director Ryan Miller added that the Planning and Zoning commission is not able to permit the**
357 **applicant's home but only to act as the approving body to the preliminary and final plats. These have technical criteria which**
358 **the applicant needs to meet. One of the criteria is that utilities be provided to that property but the water provider cannot**

359 provide anybody else water until they work out a new contract with the City of Rockwall. In order to plat the property, the
360 applicant must put in the roadway and provide the Commission with a will=serve letter from Blackland Water Supply stating
361 that they can serve him.
362

363 There being no further questions Vice-Chairman Welch indicated the case will return to the Commission for action at the
364 next scheduled meeting on June 9, 2020.
365

366 12. **SP2020-005 (DAVID GONZALES)**

367 Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Grey Stogner of Metroplex Acquisition Fund,
368 LP for the approval of a Site Plan for a *daycare center* on an eight (8) acre tract of land being identified as a portion of Lot 8, Block
369 A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for
370 General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located north of the intersection
371 of Stone Creek Drive and Miramar Drive, and take any action necessary.
372

373 The applicant came forward.

374
375 **Clay Cristy**
376 **1903 Central Drive**
377 **Bedford, TX 76021**
378

379 The applicant came forward and provided a brief summary in regards to the request. He added that it would be a standard
380 Primrose School that would have infant sized children all the way up to grade school. Average pick up times would be drop
381 off at 6:00 AM and pick up by 6:00 PM. The daycare center would have backyard playground equipment that requires to meet
382 the state's requirements and he has discussed with Staff some requirements that would need to be followed in order to make
383 it. Mr. Cristy then advised the Commission that he was available for questions.
384

385 Chairman Chodun asked if the case had gone through Architectural Review Board.
386

387 Clay Cristy added that ARB had reviewed the building and the material and were not fond of the cultured stone which is the
388 standard for Primrose's material selection. He added that he will be going back with the architects to see about a more
389 natural stone as opposed to the cultured stone and present it next time.
390

391 There being no further questions Vice-Chairman Welch indicated the case will return to the Commission for action at the
392 next scheduled meeting on June 9, 2020.
393

394 13. **SP2020-009 (RYAN MILLER)**

395 Discuss and consider a request by Mallory Laremore on behalf of Corby Bell and Mandy Norman for the approval of a Site Plan for
396 an office building on a 0.330-acre tract of land identified as Tract 23 of the B. J. T. Lewis Survey, Abstract No. 255, City of Rockwall,
397 Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated
398 within the Scenic Overlay (SOV) District, addressed 1006 Ridge Road, and take any action necessary.
399

400 Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. The applicant is requesting to
401 convert the existing home into a residential office building which is allowed in the Residential Office District. This case
402 came as a referral from Code Enforcement due to the applicant starting to operate in the building before anything was done
403 to the structure including not acquiring a Certificate of Occupancy. The applicant was told they were not allowed to operate
404 until they go through this process so they engaged an engineer and provided plans. There were some recommendations
405 made including rearranging some of the parking areas and they indicated they were going to comply with that. There were
406 also several landscaping requirements that were associated with this property. Specifically, there were the Overlay District
407 requirements along Ridge Road, tree requirements along Summit, and the required increased screening when there is a
408 residential and non-residential property next to each other. We allow them to decrease that in a Residential Office District by
409 putting in a wood fence for maintaining the residential look. The resident to the North went through a process with the
410 Planning and Zoning Department and they planted crape myrtles along their fence- we are asking that the applicant continue
411 following this same trend. Everything else falls within compliance since nothing is being removed or added to the exterior
412 of the building and the use for the office would be for a title company. Mr. Miller advised the Commission that he was
413 available to answer any questions.
414
415

416 There being no further questions Vice-Chairman Welch indicated the case will return to the Commission for action at the
417 next scheduled meeting on June 9, 2020.
418

419 14. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- 420
- 421
- Z2020-011: SUP for an Accessory Building at 323 Julian Drive (**APPROVED; 1st READING**)
 - Z2020-016: SUP for a Secondary Living Unit/Guest Quarters and Carport at 844 Zion Hill Circle (**APPROVED; 1st READING**)(tabled to June 30th meeting)
- 422
- 423
- 424

425 **Planning and Zoning Director Ryan Miller provided a brief update about the outcome of the above referenced cases at the**

426 **City Council meeting.**

427

428 VII. ADJOURNMENT

429

430 **Vice-Chairman Welch adjourned the meeting at 7:10 p.m.**

431

432 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____

433 _____ day of _____, 2020.

434

435 _____

436 Jerry Welch, Vice-Chairman

437

438 Attest:

439

440 _____

441 Angelica Gamez, Planning and Zoning Coordinator

442



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 9, 2020
APPLICANT: Robert Gunby; *Royse City Business Ventures*
CASE NUMBER: P2020-019; *Lot 9, Block C, Remington Park, Phase 2 Addition (ETJ)*

SUMMARY

Discuss and consider a request by Robert Gunby of Royse City Business Ventures for the approval of a Replat for Lot 9, Block C, Remington Park, Phase 2 Addition being a 3.04-acre tract of land identified as Lots 1 & 2, Block C, Remington Park, Phase 2 Addition, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 3958 & 3966 Ruger Drive, and take any action necessary

PLAT INFORMATION

- ☑ The applicant is requesting to replat a 3.04-acre tract of land identified as Lots 1 & 2, Block C, Remington Park, Phase 2 Addition by removing a lot line and combining the two lots to create *Lot 9, Block C, Remington Park, Phase 2 Addition* for the purpose of constructing an additional building and providing the necessary easements for the development of the site. The subject property is addressed as 3958 & 3966 Ruger Drive, Rockwall County, Texas, and situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall.
- ☑ The purpose of the replat is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interim Interlocal Agreement* between Rockwall County and the City of Rockwall. The proposed replat does meet the intent and stated purpose for development of the site.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances and Exhibit 'A' of the Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances and *Exhibit 'A'* of the *Interim Interlocal Cooperation Agreement between Rockwall County and the City of Rockwall*.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 9, Block C, Remington Park, Phase 2 Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to filing of the plat with Rockwall County; and,

- (2) The applicant shall have the city approved plat mylar signed by the Rockwall County Judge prior to staff accepting the plat for filing purposes; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-019

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 3958 RUGER DRIVE

Subdivision REMINGTON PARK PHASE TWO

Lot 1/2 Block C

General Location ROYSE CITY

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage 3.04

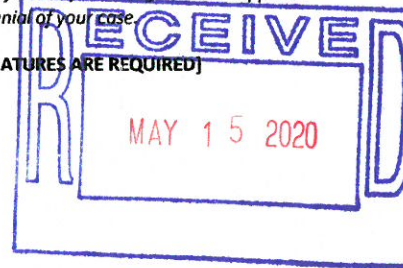
Lots [Current] 2

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>ROYSE CITY BUSINESS VENTURES</u>	<input type="checkbox"/> Applicant	<u>SAME</u>
Contact Person	<u>ROBERT GUNBY</u>	Contact Person	
Address	<u>8235 DOUGLAS AVE SUITE 350</u>	Address	
City, State & Zip	<u>DALLAS, TX 75225</u>	City, State & Zip	
Phone	<u>214-445-4305</u>	Phone	
E-Mail	<u>RHOOKER@RTGCAPITOL.COM</u>	E-Mail	



NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Roger C Gault [Owner] the undersigned, who stated the information on this application to be true and certified the following:

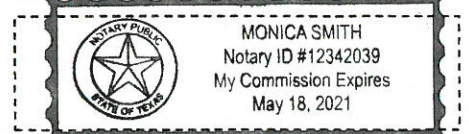
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 360.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 23rd day of January, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 23rd day of January, 2020.

Owner's Signature

Roger C Gault

Notary Public in and for the State of Texas



My Commission Expires



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



6/5/2020

City of Rockwall Project Plan Review History



Revision 1 Comments Highlighted

Project Number P2020-019
Project Name Lots 1&2, Block C, Remington Park Phase
Type PLAT
Subtype REPLAT
Status P&Z HEARING

Owner ROBERT GUNBY
Applicant

Applied 5/15/2020 AG
Approved
Closed
Expired
Status 5/21/2020 DG

Site Address 3958 RUGER DRIVE
City, State Zip Royse City, TX 75189

Zoning

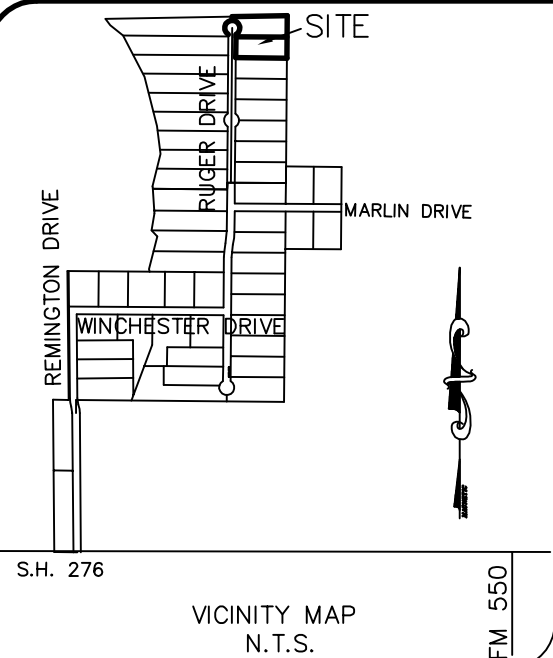
Subdivision **Tract** **Block** **Lot No** **Parcel No** **General Plan**

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/15/2020	5/22/2020	5/19/2020	4	APPROVED	
ENGINEERING	Sarah Johnston	5/15/2020	5/22/2020	5/20/2020	5	APPROVED	See note
(5/20/2020 8:31 AM SJ) - Any improvements to the site will need to be through engineering review and must meet the Engineering Standards of Design and Construction.							
FIRE	Ariana Hargrove	5/15/2020	5/22/2020	5/19/2020	4	APPROVED	
GIS	Lance Singleton	5/15/2020	5/22/2020				
PLANNING	David Gonzales	5/15/2020	5/22/2020	5/21/2020	6	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
P2020-019; Replat for Lot 9, Block C, Remington Park Phase II- ETJ						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a replat for Lot9, Block C, Remington Park, Phase 2 Addition being a 3.04-acre tract of land identified as Lots 1 & 2, Block C, Remington Park, Phase 2 Addition, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 3958 & 3966 Ruger Drive.						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at(972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (P2020-019) in the lower right-hand corner of all pages of all revised plan submittals(i.e. site plan and landscape plan).						
I.4 This project is subject to all requirements stipulated by the Interim Interlocal Cooperation Agreement for Subdivision Regulation between Rockwall County and the City of Rockwall and is applicable to the subject property.						
M. 5 Please refer to the mark-ups on the Checklist for Plat Submittals provided by staff as found in the Interim Interlocal Cooperative Agreement for Subdivision Regulation document and make the following corrections and/or provide a statement for each of the following items						
a) Case number						
b) Engineering information						
c) Title Block						
d) Vicinity Map						
e) Lot and Block						
f) Building Setbacks						
g) Easements						
h) Right-of-Way and Centerline						
i) Corner Clips						
j) Adjacent Properties						
k) Dedication						
l) Standard Plat Wording						
m) Legal Description						
n) Storm Drainage Improvements						
o) Public Improvement Statement						
p) Plat Approval Signatures						
M.6 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.						
I.7 Staff has identified the aforementioned items necessary to continue the submittal process Please make these revisions and corrections and return to staff assoon as practical, and provide any additional information that is requested						
I.8 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing						
I.9 The Planning and Zoning Work Session Meeting will be held on May26, 2020.						
I.10 The Planning and Zoning Regular Meeting will be held on June9, 2020.						
I.11 The City Council meeting for this case is scheduled to be held on June 15, 2020.						
I.12 IN LIEU OF ATTENDING IN PERSON AND IN AN EFFORT TO COMPLY WITH CDC RECOMMENDATIONS REGARDING SOCIAL DISTANCING/SPECIAL NOTES						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PERTAINING TO "REMOTELY" OR "VIRTUALLY" PARTICIPATING IN THE PLANNING AND ZONING COMMISSION WORK SESSION MEETING WILL BE PROVIDED TO APPLICANTS PRIOR TO THE SCHEDULED MEETING. ALL MEETINGS WILL BE HELD IN THE CITY'S COUNCIL CHAMBERS AND BEGIN AT 6:00 P.M. PLEASE CONTACT STAFF SHOULD YOU HAVE ANY QUESTIONS.						
PLANNING (6/4/2020 4:05 PM DG) P2020-019; Revision 1 Replat for Lot 9, Block C, Remington Park Phase II - ETJ Please address the following comments (M= Mandatory Comments; I = Informational Comments)	David Gonzales	6/4/2020	6/11/2020	6/4/2020	COMMENTS	See comments
<p>I.1 This is a request for the approval of a replat for Lot 9, Block C, Remington Park, Phase 2 Addition being a 3.04-acre tract of land identified as Lots 1 & 2, Block C, Remington Park, Phase 2 Addition, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 3958 & 3966 Ruger Drive.</p> <p>I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.</p> <p>I.3 This project is subject to all requirements stipulated by the Interim Interlocal Cooperation Agreement for Subdivision Regulation between Rockwall County and the City of Rockwall and is applicable to the subject property.</p> <p>M.4 Please refer to the mark-ups on the Checklist for Plat Submittals provided by staff as found in the Interim Interlocal Cooperative Agreement for Subdivision Regulation document and make the following corrections and/or provide a statement for each of the following items: a) Dedication – Provide all language as indicated under Section 5, Certification and Dedication Language, (a) Owners Certification, of Exhibit 'A', Subdivision Regulations for Review of Plats in the ETJ, of the Interim Interlocal Agreement. b) Standard Plat Wording - Provide all language as indicated under Section 5, Certification and Dedication Language, (a) Owners Certification, of Exhibit 'A', Subdivision Regulations for Review of Plats in the ETJ, of the Interim Interlocal Agreement. c) Public Improvement Statement – Provide an appropriate statement indicating no construction will be permitted until all public improvements are accepted by the City and County as provided in this agreement.</p> <p>M.5 Please provide one (1) large copy [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.</p> <p>I.6 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.</p> <p>M.7 Once staff has approved the plat for filing, the mylar copies must be signed by the Rockwall County Judge prior to staff accepting the plat for filing purposes.</p> <p>I.8 The Planning and Zoning Regular Meeting will be held on June 9, 2020.</p> <p>I.9 The City Council meeting for this case is scheduled to be held on June 15, 2020.</p> <p>I.10 THE ROCKWALL PLANNING AND ZONING COMMISSION MEETING WILL BE HELD IN-PERSON AT ROCKWALL CITY HALL; HOWEVER, AS AN ALTERNATIVE TO ATTENDING THE MEETINGS APPLICANTS MAY JOIN REMOTELY VIA ZOOM (AUDIO PARTICIPATION ONLY). ALL MEETINGS WILL BE HELD IN THE CITY'S COUNCIL CHAMBERS AND BEGIN AT 6:00 P.M. PLEASE CONTACT STAFF SHOULD YOU HAVE ANY QUESTIONS.</p>						
Rockwall County (5/26/2020 1:47 PM DG) Per Ron Merritt via email on 05.26.2020: The final plat is good as shown	David Gonzales	5/26/2020	6/5/2020	5/26/2020	COMMENTS	See comments
Rockwall County	David Gonzales	6/4/2020	6/14/2020	6/4/2020	APPROVED	See comment

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(6/4/2020 3:24 PM DG)						
Per Ron Merritt via email on 06.04.2020:						
Looks Good						



LEGEND:
 IRF = IRON ROD FOUND
 (C.M.) CONTROL MONUMENT
 N 7020982.48
 E 2626344.90 = STATE PLANE COORDINATES

FLOODZONE CERTIFICATE:
 NO PORTION OF THE PROPERTY SHOWN HEREON LIES WITH A 100-YEAR FLOOD BOUNDARY LINE ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 48397C0065L WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008.

WAT LAO SIRBUDDHAVAS, INC
 2772 BLACKLAND ROAD
 VOL. 996, PG. 442
 P.R.R.C.T.

OWNER'S CERTIFICATION

STATE OF TEXAS
 COUNTY OF ROCKWALL

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WE, ROYSE CITY BUSINESS VENTURES, LLC DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN DESCRIBED PROPERTY AS LOT 9, BLOCK C, A REPLAT OF LOTS 1 AND 2, BLOCK C OF THE REMINGTON PARK PHASE TWO, ADDITION, AN ADDITION TO THE COUNTY OF ROCKWALL, TEXAS AS RECORDED IN CABINET G, PAGE 289 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

Robert Gunby _____ Date
 ROYSE CITY BUSINESS VENTURES, LLC

I further acknowledge that the dedication and/or exaction's made herein are proportional to the impact of Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I and my successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exactions made herein.

Property Owners Signature

STATE OF TEXAS
 COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Robert Gunby, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration herein stated.

Given upon my hand and seal of office this _____ day of _____, 2020.

Notary Public in and for the State of Texas

My Commission Expires

SURVEYOR'S CERTIFICATION:

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Rudy Rangel, do hereby certify, that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown hereon were properly placed under my personal supervision

Registered Professional Surveyor
 TBPLS NO. 10077100

Planning & Zoning Commission, Chairman

Date

APPROVED:

I hereby certify that the above and foregoing plat of an addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, 2020 in accordance with requirements of the Interlocal Cooperation Agreement for Subdivision Regulation in the Extraterritorial Jurisdiction (ETJ) of the City entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, 2020.

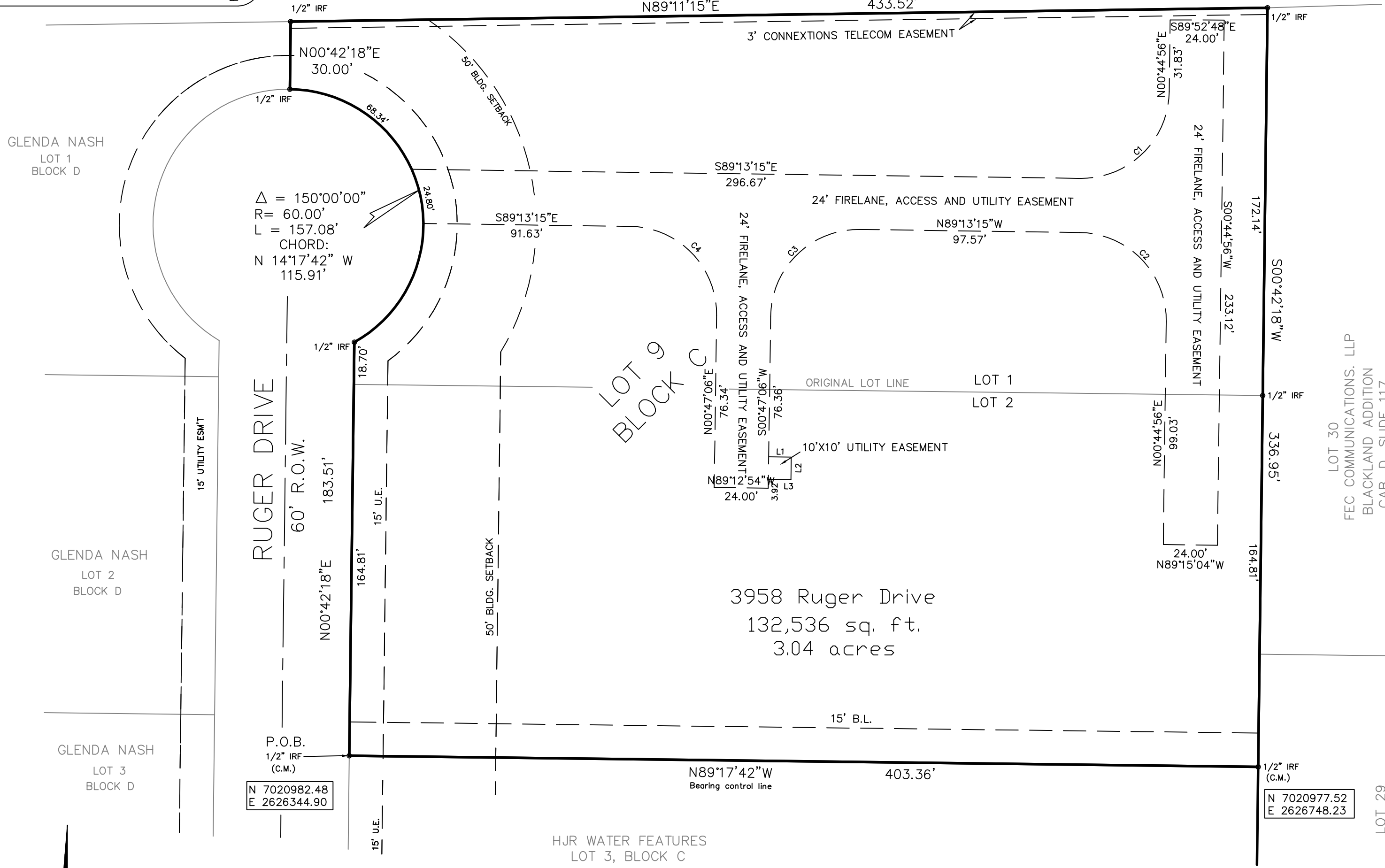
Mayor, City of Rockwall

City Secretary

City Engineer

Rockwall County Judge

Date



LINE	LENGTH	BEARING
L1	10.00	S89°12'54\"E
L2	10.00	N00°47'06\"E
L3	10.00	S89°12'54\"E

CURVE	LENGTH	RADIUS	DELTA
C1	61.28	39.00	90°01'49\"
C2	61.24	39.00	89°58'11\"
C3	61.26	39.00	89°59'39\"
C4	61.27	39.00	90°00'21\"

LEGAL DESCRIPTION:

BEING all of Lots 1 and 2 of Block C of Remington Park Phase Two an addition to Rockwall County, Texas and being recorded in Cabinet G, Slide 289 of the Plat Records of Rockwall County, Texas and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for the southwest corner of Lot 2, Block C of said Remington Park addition, said point being on the east right-of-way line of Ruger Drive (a 60' wide right-of-way)
 THENCE North 00°42'18" East a distance of 183.51' to a 1/2" iron rod found for the beginning of a curve to the left having a central angle of 150°00'00", a radius of 60.00' and a chord that bears North 14°17'42" West 115.91';
 THENCE along said curve an arc distance of 157.08' to a 1/2" iron rod found for a corner;
 THENCE North 00°42'18" East a distance of 30.00' to the northwest corner of Lot 1, Block C of said Remington Park addition;
 THENCE North 89°11'15" East a distance of 433.52' to the northeast corner of said Lot 1;
 THENCE South 00°42'18" West a distance of 336.95' to a 1/2" iron rod found at the southeast corner of said Lot 2;
 THENCE North 89°17'42" West a distance of 403.36' to the POINT OF BEGINNING and containing 3.04 acres (132,536 square feet of land).

FINAL PLAT
 REMINGTON PARK
 PHASE TWO
 LOT 9, BLOCK C
 A REPLAT OF LOTS 1 & 2, BLOCK C
 AMBROSE M. WILSON SURVEY
 ABST. No. 223
 ROCKWALL COUNTY, TEXAS

SCALE: 1" = 40'
 DATE: 06-03-2020

Prepared by:
 James Anderson
 10 Cypress Court
 Heath, Texas 75032
 214-548-2042
 jma90266@gmail.com

SURVEYOR:
 RUDY RANGEL
 1012 TIMBERLINE DRIVE
 HEATH, TEXAS 75032
 214-325-8026
 Rangellandsurveying@swbell.net
 TBPLS NO. 10077100

OWNER:
 ROYSE CITY BUSINESS VENTURES, LLC
 8235 DOUGLAS AVE, SUITE 350
 DALLAS, TEXAS 75225
 214-445-4305
 rhooker@rtgcapital.com



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 9, 2020
APPLICANT: Clint Vincent; *Bloomfield Homes, LP*.
CASE NUMBER: P2020-020; *Final Plat for Terracina Estates, Phase 1*

SUMMARY

Discuss and consider a request by Clint Vincent of Bloomfield Homes, LP for the approval of a Final Plat for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 54.995-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochelle Road south of SH-276, and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting the approval of a final plat for a 54.995-acre portion of a larger 81.49-acre tract of land identified Tract 16 of the J. A. Ramsay Survey, Abstract No. 186. The purpose of the final plat is to establish 110 single-family residential lots as part of the Terracina Estates, Phase 1 Subdivision. This is the first of three (3) phases of the Terracina Estates Subdivision, which upon completion will consist of a total of 352 single-family lots for Planned Development District 82 (PD-82).
- ☑ The proposed final plat conforms to the Preliminary Plat (*i.e. P2017-055*) and Master Plat (*i.e. P2017-054*), which were approved by the City Council on November 20, 2017.
- ☑ On June 20, 2016, the City Council approved a zoning change for the subject property from an Agricultural (AG) District to Planned Development District 82 (PD-82) by *Ordinance No. 16-43 [i.e. Case No. Z2016-043]*. On January 2, 2018, the City Council approved *Ordinance No. 18-08 [Case No. Z2017-063]* amending Planned Development District 82 (PD-82) for the purpose of incorporating an additional 98.341-acre tract of land within PD-82 and creating a 179.831-acre single-family residential subdivision consisting of three (3) phases.
- ☑ On June 2, 2020, the Parks and Recreation Board reviewed the final plat, and made a motion to recommend approval of the final plat with the proposed 8.24-acre park with the condition that the park land and amenities meet or exceed the total for pro-rata equipment fees in the amount of \$52,360.00 (*i.e. \$476.00 x 110 lots*) and cash in lieu of land fees in the amount of \$55,330.00 (*i.e. \$503.00 x 110 lots*) or a total of \$107,690.00. The park and amenities are to be built to city specifications.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for final plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☑ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the *Final Plat for Phase 1 of the Terracina Estates Subdivision*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) The applicant shall adhere to the recommendations made by the Parks Board; and,
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-020

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
 - Preliminary Plat (\$200.00 + \$15.00 Acre)¹
 - Final Plat (\$300.00 + \$20.00 Acre)¹ $51 \text{ AC} \times \$20 = \1020
 - Replat (\$300.00 + \$20.00 Acre)¹ $+ 300$
 - Amending or Minor Plat (\$150.00)
 - Plat Reinstatement Request (\$100.00)
- $\$1320$

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 3500 BLOCK ROCHELL ROAD

Subdivision TERRACINA PHASE I Lot _____ Block _____

General Location WEST SIDE OF ROCHELL RD. APPROX. 1500FT. SOUTH OF HWY 276

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-B2 Current Use PASTURE

Proposed Zoning PD-B2 Proposed Use SINGLE FAMILY RESIDENTIAL

Acreage 50.154 Lots [Current] 1 Lots [Proposed] 110

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner BLOOMFIELD HOMES, LP Applicant

Contact Person CLINT VINCENT Contact Person _____

Address 1050 E. HWY. 114, SUITE 210 Address _____

City, State & Zip SOUTHLAKE, TX 76092 City, State & Zip _____

Phone 817-416-1572 Phone _____

E-Mail _____ E-Mail _____

NOTARY VERIFICATION [REQUIRED]

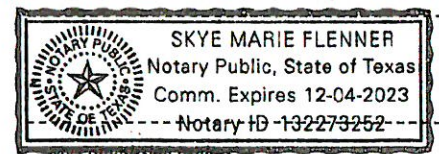
Before me, the undersigned authority, on this day personally appeared Clint Vincent [Owner] the undersigned, who stated the information on this application to be true and certified the following:

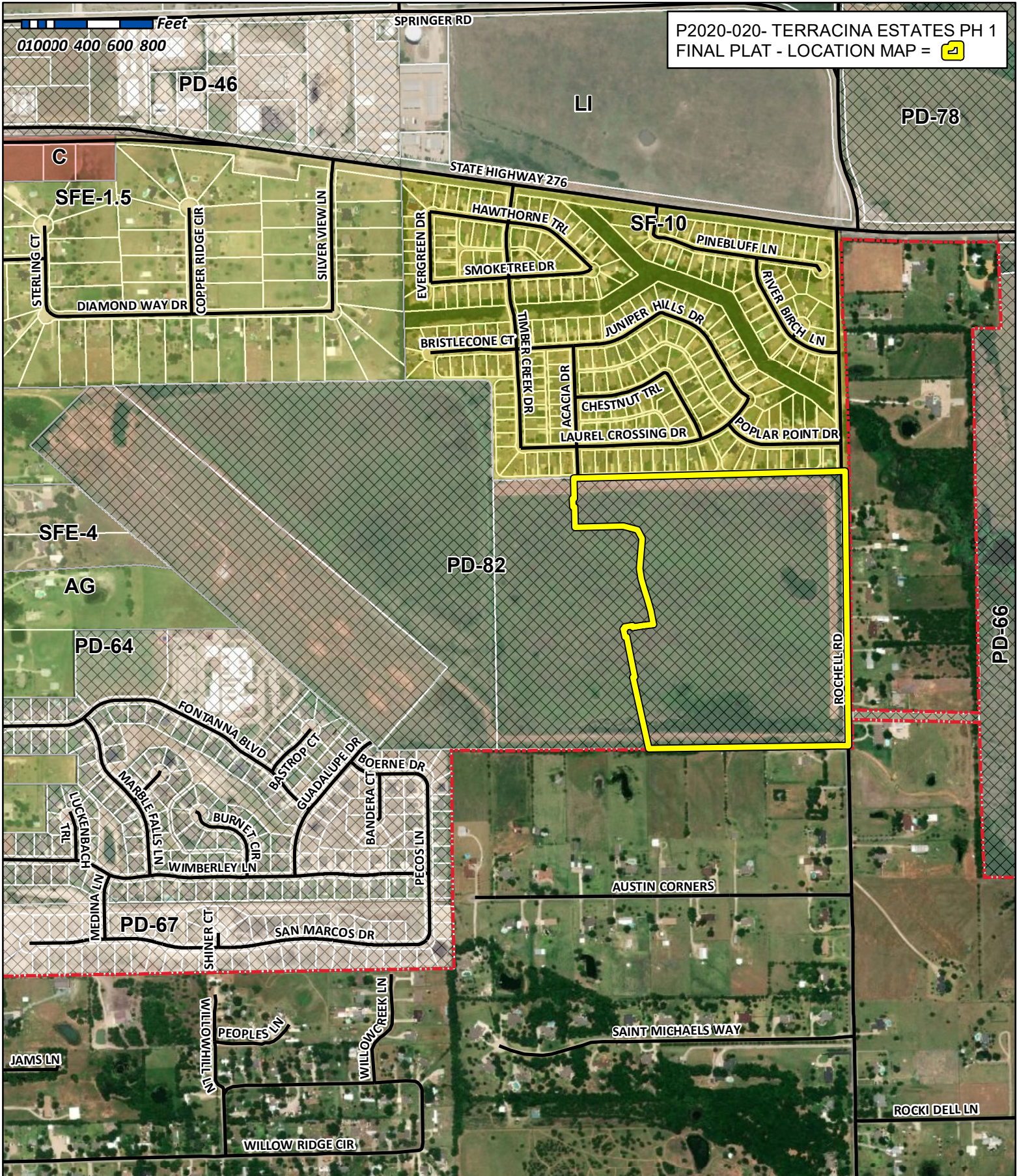
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 1320, to cover the cost of this application, has been paid to the City of Rockwall on this the 14 day of MAY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 14 day of May, 20 20.

Owner's Signature

Notary Public in and for the State of Texas





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



City of Rockwall Project Plan Review History



Revision 1 Comments are Highlighted

Project Number P2020-020
Project Name Terracina, Phase I
Type PLAT
Subtype FINAL
Status P&Z HEARING

Owner CLINT VINCENT
Applicant

Applied 5/15/2020 AG
Approved
Closed
Expired
Status 5/21/2020 DG

Site Address 3500 ROCHELLE
City, State Zip ROCKWALL, TX 75032

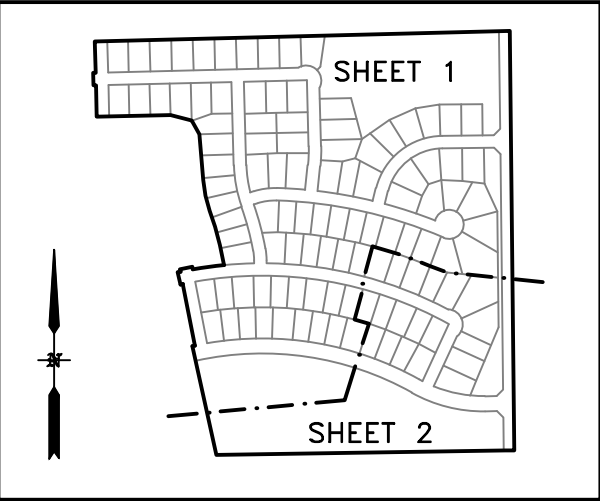
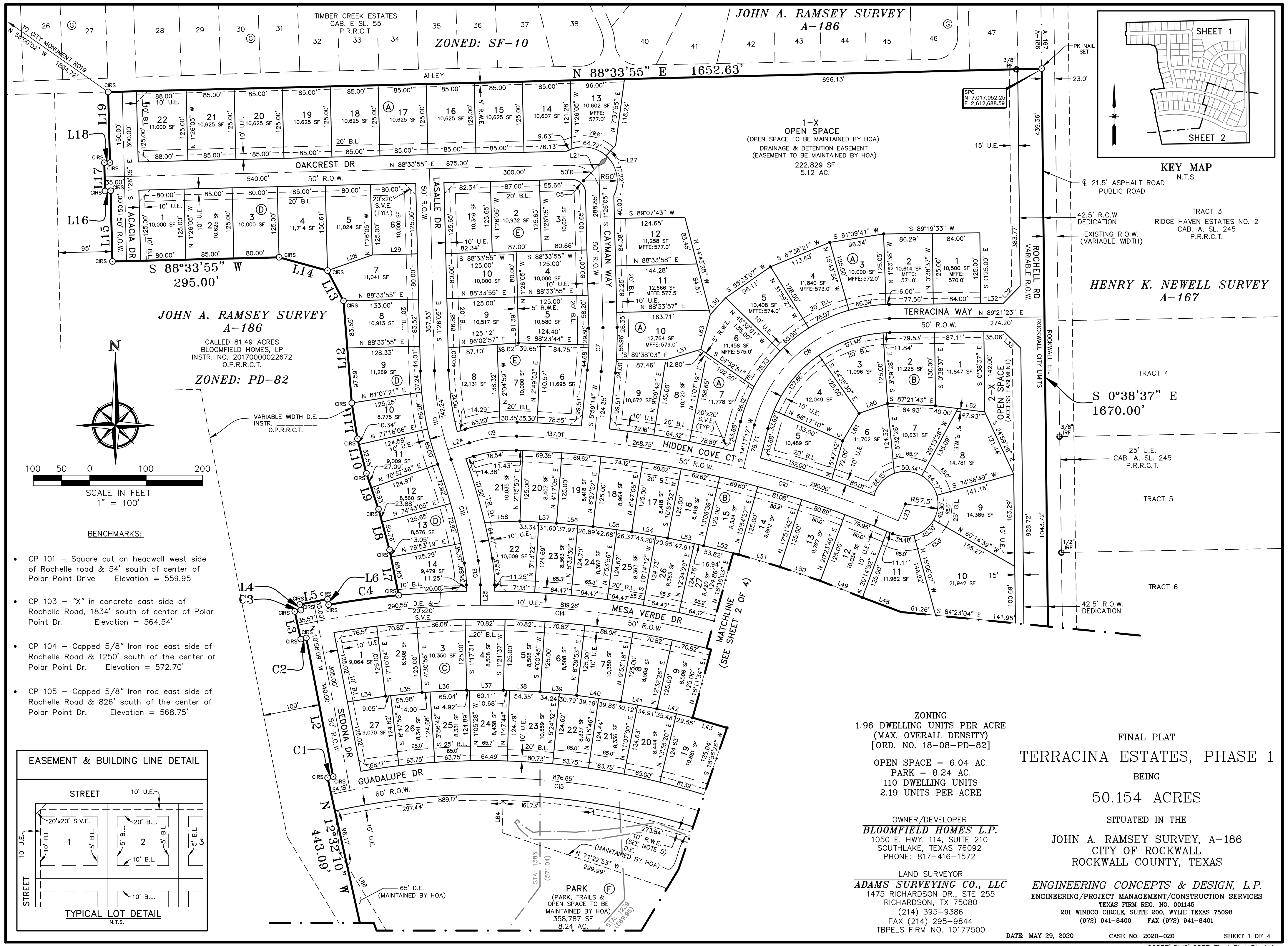
Zoning

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
TIMBER CREEK ESTATES	16		16	0186-0000-0016-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/15/2020	5/22/2020	5/19/2020	4	APPROVED	
ENGINEERING	Sarah Johnston	5/15/2020	5/22/2020	5/20/2020	5	COMMENTS	See notes and attachment. (5/20/2020 11:13 AM SJ) M - Retaining Wall Easement "to be maintained by property owner or HOA." M - Label the 100-year floodplain. See markup. M - Need the Separate Instrument Numbers before filing the plat. M - 1-X Open Space to be maintained by the HOA. M - Must include a 10' Utility Easement along all street frontage. There are multiple locations shown on markup. M - 20' UE will not overlap the 10' RWE. 30' ESMT total.
ENGINEERING	Sarah Johnston	6/4/2020	6/11/2020	6/4/2020		COMMENTS	Must have instrument numbers.
FIRE	Ariana Hargrove	5/15/2020	5/22/2020	5/19/2020	4	APPROVED	
FIRE	Ariana Hargrove	6/3/2020	6/3/2020	6/3/2020		APPROVED	revisions
GIS	Lance Singleton	5/15/2020	5/22/2020				
Parks Department	WENDY YOUNG	6/3/2020	6/10/2020	6/4/2020	1	COMMENTS	See comments (6/4/2020 4:23 PM DG) Parks and Recreation Board comments via email from Wendy Young (06.04.2020) K. Johnson made a motion to accept the final plat for Terracina Phase 1 with cash in lieu of land fees totaling \$55,330 and the pro-rata equipment fees totaling \$52,360 and to build a park that exceeds this amount to city specifications. Denny seconded the motion which passed unanimously.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
PLANNING	David Gonzales	5/15/2020	5/22/2020	5/21/2020	6 COMMENTS	See comments
<p>P2020-020; Final Plat for Terracina Estates, Phase 1 Addition Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p> <p>I.1 This is a request for the approval of a Final Plat for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 54.995-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochelle Road south of SH-276.</p> <p>I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.</p> <p>M.3 For reference, include the case number (P2020-020) in the lower right-hand corner of all pages of all revised plan submittals.</p> <p>I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Planned Development District No. 82 (PD-82), staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document that are applicable to the subject property. [§01.02(D), Art. 11, UDC]</p> <p>M.5 Submittal and approval of street names prior to the plat being filed. Contact Lance Singleton, GIS Supervisor – lsingleton@rockwall.com. [§01.02(D), Art. 11, UDC]</p> <p>M.6 Correct lot dimensional information for Lot 14, Block A (i.e. curvilinear lot), to standards established in PD-82 that requires the minimum lot width to be 80-feet measured at the Front Yard Building Setback. Provide a label meeting or exceeding the minimum standard for this lot width. [Ordinance No. 18-08, PD-82]</p> <p>M.7 Relabel the lots located in Blocks A & B by re-numbering these lots sequentially starting with Lot 1, Block A and Lot 1, Block B. [Section 38-10, of Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]</p> <p>M.8 Correct Title Block to read as follows: Final Plat Terracina Estates, Phase 1 Being 50.154-Acres Situated in the John A. Ramsey Survey, Abstract No. 186 City of Rockwall, Rockwall County, Texas</p> <p>[Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]</p> <p>M.9 Correct Zoning District: PD-82 information to state 1.96 dwelling units per acre (maximum overall density) [Ordinance No. 18-08, PD-82]</p> <p>I.10 Notary certificate is not necessary when plat is stamped by surveyor.</p> <p>M.11 Under the Owner’s Certification and Dedication page, add the following statement: 7. Property Owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements. [§01.02(D), Art. 11, UDC]</p> <p>I. 12 Correct pages and swap Sheets 3 & 4 (i.e. Sheet 3 needs to be Sheet 4 and vice-a-versa). The signature page is the last page of the plat document.</p> <p>M.13 Delineate and label the right-of-way dedication for Rochelle Road. [Section 38-10, of Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]</p>						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>I.14 Please note that failure to address all comments provided by staff by 5:00 PM on June 2, 2019 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.</p> <p>I.15 Please provide one (1) large copy [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff. Please email a PDF version for a subsequent/final review by staff. Due to COVID-19, staff prefers and is requesting that you do not resubmit paper copies.</p> <p>I.16 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.</p> <p>I.17 The Planning and Zoning Work Session Meeting will be held on May 26, 2020.</p> <p>I.18 The Parks and Recreation Board Meeting for this case is scheduled to be held on June 2, 2020.</p> <p>I.19 The Planning and Zoning Regular Meeting will be held on June 9, 2020.</p> <p>I.20 The City Council meeting for this case is scheduled to be held on June 15, 2020.</p> <p>M.21 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.</p> <p>I.22 IN LIEU OF ATTENDING IN PERSON AND IN AN EFFORT TO COMPLY WITH CDC RECOMMENDATIONS REGARDING SOCIAL DISTANCING SPECIAL NOTES PERTAINING TO "REMOTELY" OR "VIRTUALLY" PARTICIPATING IN THE PLANNING AND ZONING COMMISSION WORK SESSION MEETING WILL BE PROVIDED TO APPLICANTS PRIOR TO THE SCHEDULED MEETING. ALL MEETINGS WILL BE HELD IN THE CITY'S COUNCIL CHAMBERS AND BEGIN AT 6:00 P.M. PLEASE CONTACT STAFF SHOULD YOU HAVE ANY QUESTIONS.</p>						
PLANNING	David Gonzales	6/4/2020	6/11/2020	6/4/2020	COMMENTS	Revision 1 comments
<p>(6/4/2020 9:34 AM DG) P2020-020; Revision 1 Final Plat for Terracina Estates, Phase 1 Addition Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p> <p>I.1 This is a request for the approval of a Final Plat for Phase 1 of the Terracina Estates Subdivision consisting of 110 single-family lots on a 54.995-acre portion of a larger 81.49-acre tract of land identified as Tract 16 of the J. A. Ramsay Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, Planned Development District 82 (PD-82) for Single-Family 10 (SF-10) District land uses, situated on the west side of Rochelle Road south of SH-276.</p> <p>I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.</p> <p>I.3 This project is subject to all requirements stipulated by the Unified Development Code (UDC) and Planned Development District No. 82 (PD-82), staff comments provided by the Planning, Engineering, Building Inspections, and Fire Department as indicated in the Project Plan Review document that are applicable to the subject property. [§01.02(D), Art. 11, UDC]</p> <p>M.4 Correct lot dimensional information for Lot 14, Block A (i.e. curvilinear lot), to standards established in PD-82 that requires the minimum lot width to be 80-feet measured at the Front Yard Building Setback. Provide a label meeting or exceeding the minimum standard for this lot width. [Ordinance No. 18-08, PD-82]</p> <p>I.5 The Planning and Zoning Regular Meeting will be held on June 9, 2020.</p> <p>I.6 The City Council meeting for this case is scheduled to be held on June 15, 2020.</p> <p>M.7 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.</p> <p>I.8 THE ROCKWALL PLANNING AND ZONING COMMISSION MEETING WILL BE HELD IN-PERSON AT ROCKWALL CITY HALL; HOWEVER, AS AN ALTERNATIVE TO ATTENDING THE MEETINGS APPLICANTS MAY JOIN REMOTELY VIA ZOOM (AUDIO PARTICIPATION ONLY). ALL MEETINGS WILL BE HELD IN THE CITY'S COUNCIL CHAMBERS AND BEGIN AT 6:00 P.M. PLEASE CONTACT STAFF SHOULD YOU HAVE ANY QUESTIONS.</p>						



KEY MAP N.T.S.

TRACT 3
RIDGE HAVEN ESTATES NO. 2
CAB. A, SL. 245
P.R.R.C.T.

HENRY K. NEWELL SURVEY
A-167

TRACT 4

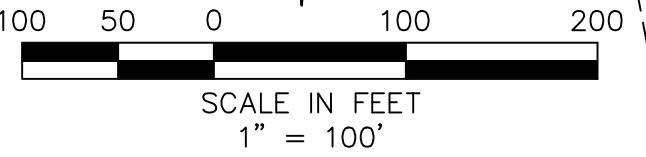
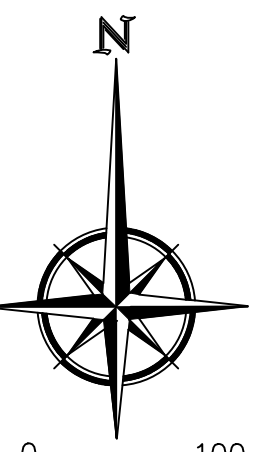
S 0°38'37" E
1670.00'

TRACT 5

TRACT 6

**JOHN A. RAMSEY SURVEY
A-186**
CALLED 81.49 ACRES
BLOOMFIELD HOMES, LP
INSTR. NO. 20170000022672
O.P.R.R.C.T.

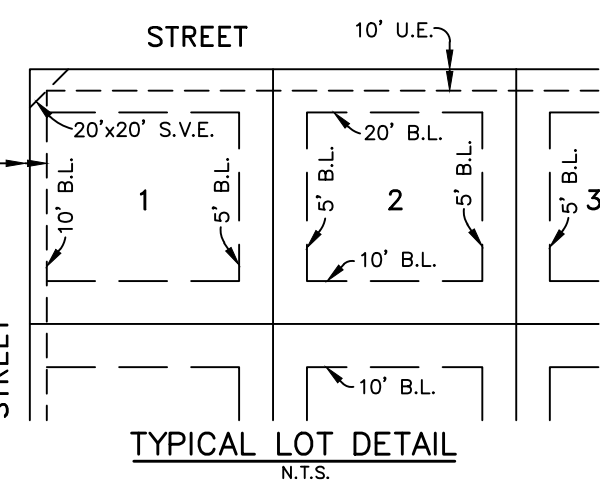
ZONED: PD-82



BENCHMARKS:

- CP 101 - Square cut on headwall west side of Rochelle road & 54' south of center of Polar Point Drive Elevation = 559.95
- CP 103 - "X" in concrete east side of Rochelle Road, 1834' south of center of Polar Point Dr. Elevation = 564.54'
- CP 104 - Capped 5/8" Iron rod east side of Rochelle Road & 1250' south of the center of Polar Point Dr. Elevation = 572.70'
- CP 105 - Capped 5/8" Iron rod east side of Rochelle Road & 826' south of the center of Polar Point Dr. Elevation = 568.75'

EASEMENT & BUILDING LINE DETAIL



1-X
OPEN SPACE
(OPEN SPACE TO BE MAINTAINED BY HOA)
DRAINAGE & DETENTION EASEMENT
(EASEMENT TO BE MAINTAINED BY HOA)
222,829 SF
5.12 AC.

ZONING
1.96 DWELLING UNITS PER ACRE
(MAX OVERALL DENSITY)
[ORD. NO. 18-08-PD-82]

OPEN SPACE = 6.04 AC.
PARK = 8.24 AC.
110 DWELLING UNITS
2.19 UNITS PER ACRE

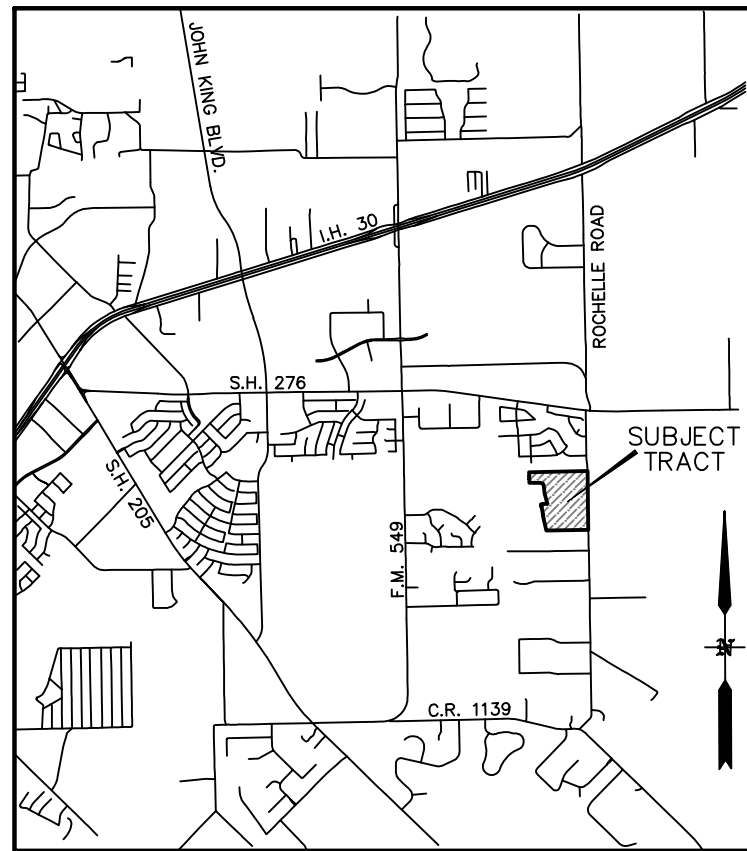
FINAL PLAT
TERRACINA ESTATES, PHASE 1
BEING
50.154 ACRES

OWNER/DEVELOPER
BLOOMFIELD HOMES L.P.
1050 E. HWY. 114, SUITE 210
SOUTH LAKE, TEXAS 76092
PHONE: 817-416-1572

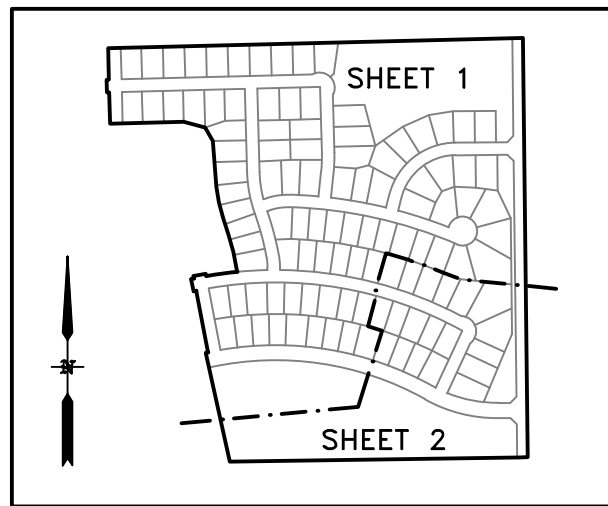
LAND SURVEYOR
ADAMS SURVEYING CO., LLC
1475 RICHARDSON DR., STE 255
RICHARDSON, TX 75080
(214) 395-9386
FAX (214) 295-9844
TBPELNO NO. 10177500

SITUATED IN THE
JOHN A. RAMSEY SURVEY, A-186
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

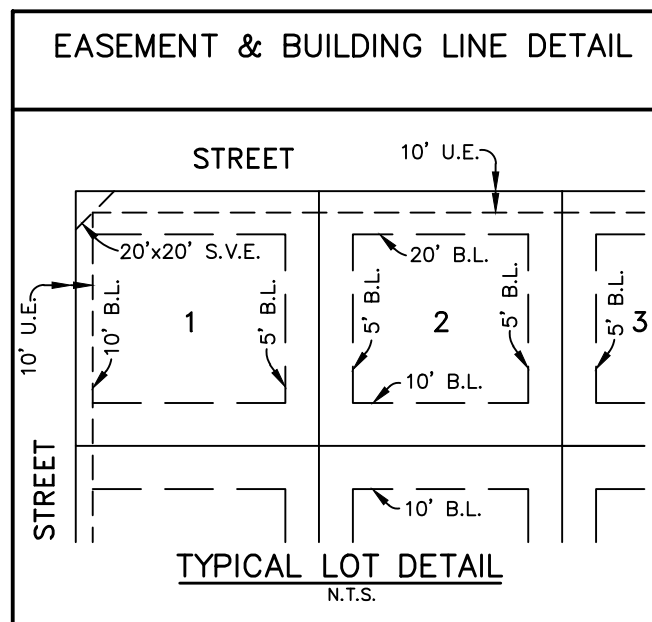
ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLIE, TEXAS 75098
(972) 941-8400 FAX (972) 941-8401



VICINITY MAP
N.T.S.

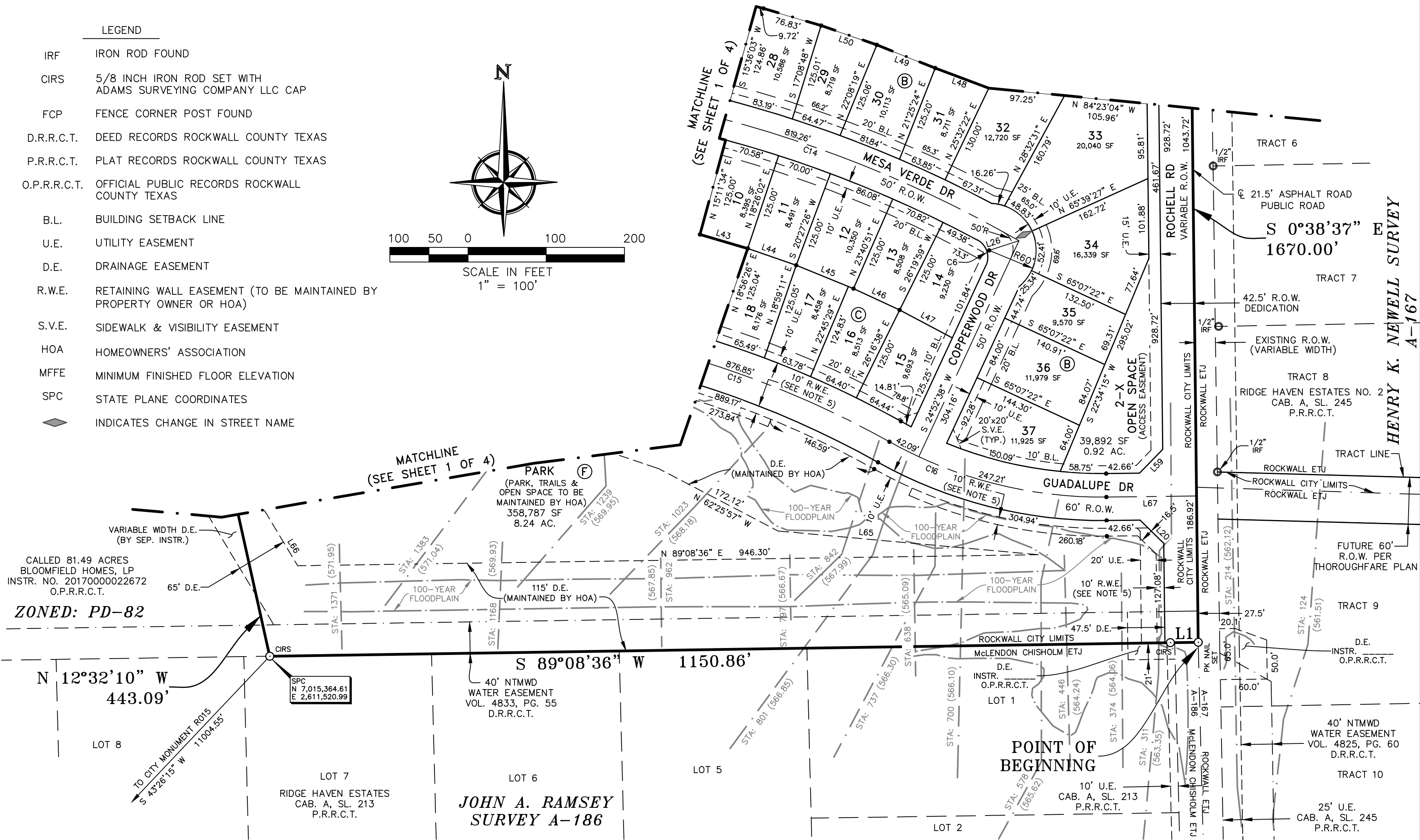
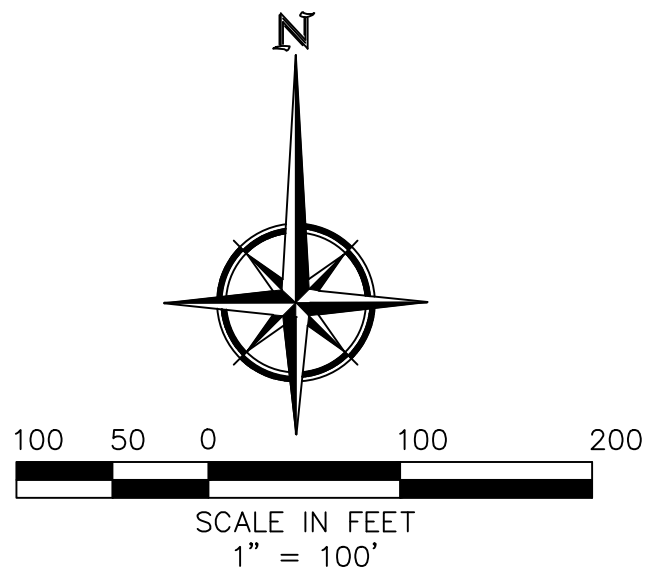


KEY MAP
N.T.S.



TYPICAL LOT DETAIL
N.T.S.

LEGEND	
IRF	IRON ROD FOUND
CIRS	5/8 INCH IRON ROD SET WITH ADAMS SURVEYING COMPANY LLC CAP
FCP	FENCE CORNER POST FOUND
D.R.R.C.T.	DEED RECORDS ROCKWALL COUNTY TEXAS
P.R.R.C.T.	PLAT RECORDS ROCKWALL COUNTY TEXAS
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY TEXAS
B.L.	BUILDING SETBACK LINE
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
R.W.E.	RETAINING WALL EASEMENT (TO BE MAINTAINED BY PROPERTY OWNER OR HOA)
S.V.E.	SIDEWALK & VISIBILITY EASEMENT
HOA	HOMEOWNERS' ASSOCIATION
MFFE	MINIMUM FINISHED FLOOR ELEVATION
SPC	STATE PLANE COORDINATES
◆	INDICATES CHANGE IN STREET NAME



- NOTES:
- Bearings are based on Texas State Plane Coordinates. Projection: State Plane NAD83 Texas North Central Zone 4202, Lambert Conformal Conic, Feet (TX83-NCF).
 - A 5/8-inch iron rod with "ADAMS SURVEYING COMPANY LLC cap" will be set at all lot corners, points of curvature, points of tangency and angle points in public rights-of-way whenever possible unless otherwise shown or noted in this drawing, after all construction for this subdivision has been completed.
 - By graphical plotting, the parcel shown hereon lies within Zone X, as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0045L, dated September 26, 2008. Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain." The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source. On occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
 - All Open Space tracts, Drainage, & Detention Easements will be maintained, repaired and replaced by the Homeowners Association.
 - Retaining Walls in the Park Area will be maintained, repaired and replaced by the Homeowners Association.
 - Driveway depth must be 25' or more between the front of garage and edge of sidewalk.
 - Retaining Walls in Residential Lots will be maintained, repaired and replaced by the Property Owners.

- BENCHMARKS:
- CP 101 - Square cut on headwall west side of Rochelle road & 54' south of center of Polar Point Drive
Elevation = 559.95
 - CP 103 - "X" in concrete east side of Rochelle Road, 1834' south of center of Polar Point Dr. Elevation = 564.54'
 - CP 104 - Capped 5/8" Iron rod east side of Rochelle Road & 1250' south of the center of Polar Point Dr. Elevation = 572.70'
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ZONING
1.96 DWELLING UNITS PER ACRE
(MAX OVERALL DENSITY)
[ORD. NO. 18-08-PD-82]

OPEN SPACE = 6.04 AC.
PARK = 8.24 AC.
110 DWELLING UNITS
2.19 UNITS PER ACRE

OWNER/DEVELOPER
BLOOMFIELD HOMES L.P.
1050 E. HWY. 114, SUITE 210
SOUTHLAKE, TEXAS 75082
PHONE: 817-416-1572

LAND SURVEYOR
ADAMS SURVEYING CO., LLC
1475 RICHARDSON DR., STE 255
RICHARDSON, TX 75080
(214) 395-9386
FAX (214) 295-9844
TBPELS FIRM NO. 10177500

FINAL PLAT
TERRACINA ESTATES, PHASE 1
BEING
50.154 ACRES

SITUATED IN THE
JOHN A. RAMSEY SURVEY, A-186
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLIE TEXAS 75098
(972) 941-8400 FAX (972) 941-8401

OWNER'S CERTIFICATE AND DEDICATION

STATE OF TEXAS
COUNTY OF TARRANT

WHEREAS BLOOMFIELD HOMES, LP, BEING THE OWNER OF A TRACT of land in the County of Rockwall, State of Texas, said tract being described as follows:

BEING a 50.154 acre tract of land situated in the John A. Ramsey Survey, Abstract 186, City of Rockwall, Rockwall County, Texas and being part of a called 81.49 acre tract of land described in deed to Bloomfield Homes, LP, recorded in Instrument 20170000022672, Deed Records, Rockwall County, Texas, said 50.154 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a PK Nail set for the southeast corner of said 81.49 acre tract in the center of Rochell Road, a 21.5 ft. asphalt public road (proposed 60 ft. right-of-way);

THENCE South 89 degrees 08 minutes 49 seconds West, with the south line of said 81.49 acre tract, a distance of 35.63 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for the northeast corner of Lot 1, Ridge Haven Estates, an addition to Rockwall County, recorded in Cabinet A, Slide 213, Plat Records, Rockwall County, Texas;

THENCE South 89 degrees 08 minutes 36 seconds West, with the common line of said 81.49 acre tract and said Ridge Haven Estates, a distance of 1150.86 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE North 12 degrees 32 minutes 10 seconds West, a distance of 443.09 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for the beginning of a non-tangent curve to the right having a radius of 1280.00 feet, whose chord bears North 77 degrees 41 minutes 16 seconds East, a distance of 10.00 feet;

THENCE Northeasterly, with said curve to the right, through a central angle of 00 degrees 26 minutes 52 seconds, an arc distance of 10.00 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for the end of said curve;

THENCE North 10 degrees 58 minutes 09 seconds West, a distance of 250.04 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for the beginning of a non-tangent curve to the left having a radius of 1530.00 feet, whose chord bears South 77 degrees 54 minutes 26 seconds West, a distance of 10.00 feet;

THENCE Southwesterly, with said curve to the left, through a central angle of 00 degrees 22 minutes 28 seconds, an arc distance of 10.00 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for the end of said curve;

THENCE North 12 degrees 16 minutes 48 seconds West, a distance of 50.00 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for the beginning of a non-tangent curve to the right having a radius of 1580.00 feet, whose chord bears North 77 degrees 55 minutes 20 seconds East, a distance of 11.15 feet;

THENCE Northeasterly, with said curve to the right, through a central angle of 00 degrees 24 minutes 15 seconds, an arc distance of 11.15 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for the end of said curve;

THENCE North 10 degrees 58 minutes 09 seconds West, a distance of 10.20 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE North 79 degrees 01 minutes 51 seconds East, a distance of 50.00 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE South 10 degrees 58 minutes 09 seconds East, a distance of 10.20 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for the beginning of a non-tangent curve to the right having a radius of 1580.00 feet, whose chord bears North 82 degrees 12 minutes 29 seconds East, a distance of 125.19 feet;

THENCE Northeasterly, with said curve to the right, through a central angle of 04 degrees 32 minutes 28 seconds, an arc distance of 125.23 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for the end of said curve;

THENCE North 11 degrees 22 minutes 18 seconds West, a distance of 81.90 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE North 15 degrees 12 minutes 53 seconds West, a distance of 74.64 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE North 18 degrees 37 minutes 29 seconds West, a distance of 67.02 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE North 14 degrees 35 minutes 37 seconds West, a distance of 62.88 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE North 09 degrees 02 minutes 55 seconds West, a distance of 64.32 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE North 04 degrees 38 minutes 17seconds West, a distance of 181.25 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE North 27 degrees 50 minutes 10 seconds West, a distance of 60.72 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE North 74 degrees 39 minutes 57 seconds West, a distance of 88.77 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE South 88 degrees 33 minutes 55 seconds West, a distance of 295.00 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE North 01 degrees 26 minutes 05 seconds West, a distance of 125.00 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE South 88 degrees 33 minutes 55 seconds West, a distance of 10.00 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE North 01 degrees 26 minutes 05 seconds West, a distance of 50.00 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE North 88 degrees 33 minutes 55 seconds East, a distance of 10.00 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner;

THENCE North 01 degrees 26 minutes 05 seconds West, a distance of 125.00 feet to a 1/2-inch iron rod with cap stamped ADAMS SURVEYING CO. set for corner in the common line of said 81.49 acre tract and Timber Creek Estates, an addition to the City of Rockwall, recorded in Cabinet E, Slide 55 of said Plat Records;

THENCE North 88 degrees 33 minutes 55 seconds East, with the common line of said 81.49 acre tract and said Timber Creek Estates, a distance of 1652.63 feet to a PK Nail set for the northeast corner of said 81.49 acre tract in the center of said Rochell Road;

THENCE South 00 degrees 38 minutes 37 seconds East, with the east line of said 81.49 acre tract and along the center of said Rochell Road, a distance of 1670.00 feet to the POINT OF BEGINNING AND CONTAINING 2,184,726 square feet or 50.154 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

I (we) the undersigned owner of the land shown on this plat, and designated herein as the TERRACINA, PHASE 1, an addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicates to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the TERRACINA, PHASE 1 have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following;

- 1. No structures shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

- 7. Property Owner shall be responsible for maintaining, repairing and replacing all systems within the drainage and detention easements.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

FOR: BLOOMFIELD HOMES, LP, a Texas limited partnership
BY: Bloomfield Properties, Inc. a Texas corporation, General Partner

BY: Donald J. Dykstra, President

STATE OF TEXAS
COUNTY OF TARRANT

Before me, the undersigned authority, on this day personally appeared Donald J. Dykstra, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal of office this ___ day of _____, 2020.

Notary Public in and for the State of Texas
My Commission Expires:

ZONING
1.96 DWELLING UNITS PER ACRE
(MAX. OVERALL DENSITY)
[ORD. NO. 18-08-PD-82]

OPEN SPACE = 6.04 AC.
PARK = 8.24 AC.
110 DWELLING UNITS
2.19 UNITS PER ACRE

OWNER/DEVELOPER
BLOOMFIELD HOMES L.P.
1050 E. HWY. 114, SUITE 210
SOUTHLAKE, TEXAS 76092
PHONE: 817-416-1572

LAND SURVEYOR
ADAMS SURVEYING CO., LLC
1475 RICHARDSON DR., STE 255
RICHARDSON, TX 75080
(214) 395-9386
FAX (214) 295-9844
TBPELS FIRM NO. 10177500

FINAL PLAT
TERRACINA ESTATES, PHASE 1
BEING
50.154 ACRES

SITUATED IN THE
JOHN A. RAMSEY SURVEY, A-186
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

ENGINEERING CONCEPTS & DESIGN, L.P.
ENGINEERING/PROJECT MANAGEMENT/CONSTRUCTION SERVICES
TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLIE TEXAS 75098
(972) 941-8400 FAX (972) 941-8401

LINE TABLE		
NO.	DIRECTION	DISTANCE
L1	S 89°08'49" W	35.63'
L2	N 10°58'09" W	250.04'
L3	N 12°16'48" W	50.00'
L4	N 10°58'09" W	10.20'
L5	N 79°01'51" E	50.00'
L6	S 10°58'09" E	10.20'
L7	N 11°22'18" W	81.90'
L8	N 15°12'53" W	74.64'
L9	N 18°37'29" W	67.02'
L10	N 14°35'37" W	62.88'
L11	N 9°02'55" W	64.32'
L12	N 4°38'17" W	181.25'
L13	N 27°50'10" W	60.72'
L14	N 74°39'57" W	88.77'
L15	N 1°26'05" W	125.00'
L16	S 88°33'55" W	10.00'
L17	N 1°26'05" W	50.00'
L18	N 88°33'55" E	10.00'
L19	N 1°26'05" W	125.00'
L20	N 45°38'37" W	42.43'
L21	N 43°33'55" E	40.00'
L22	N 44°21'23" E	42.43'
L23	S 23°14'44" W	32.50'
L24	N 72°15'55" E	39.95'
L25	S 0°15'48" E	36.06'
L26	N 72°06'38" E	40.00'
L27	N 42°11'50" E	25.00'
L28	N 70°48'45" E	84.00'
L29	N 88°33'55" E	80.00'
L30	S 42°25'07" W	40.52'
L31	N 73°25'41" E	64.63'
L32	N 89°21'23" E	40.14'
L33	N 45°38'37" W	42.43'
L34	N 81°26'23" E	68.21'

LINE TABLE		
NO.	DIRECTION	DISTANCE
L35	N 84°09'30" E	65.03'
L36	N 87°05'46" E	79.04'
L37	S 89°57'57" E	65.03'
L38	S 87°18'49" E	65.03'
L39	S 84°39'41" E	65.03'
L40	S 81°43'25" E	79.04'
L41	S 78°47'08" E	65.03'
L42	S 76°08'00" E	65.03'
L43	S 73°31'09" E	63.50'
L44	S 70°52'25" E	65.58'
L45	S 67°55'52" E	79.04'
L46	S 64°59'35" E	65.03'
L47	S 62°11'52" E	76.17'
L48	S 69°29'28" E	73.10'
L49	S 68°21'39" E	80.27'
L50	S 70°52'19" E	75.36'
L51	S 73°25'26" E	76.83'
L52	S 75°47'40" E	63.55'
L53	S 77°56'45" E	64.86'
L54	S 80°07'31" E	64.86'
L55	S 82°22'31" E	69.05'
L56	S 84°37'32" E	64.86'
L57	S 86°48'23" E	64.94'
L58	N 87°52'02" E	62.41'
L59	N 44°21'23" E	42.43'
L60	N 70°52'31" E	53.34'
L61	N 30°44'04" E	56.36'
L62	S 82°47'59" E	87.93'
L63	N 15°13'03" E	64.00'
L64	N 1°32'54" E	57.24'
L65	N 84°47'48" W	333.62'
L66	S 30°57'58" E	189.60'
L67	S 89°21'23" W	115.16'

CURVE TABLE						
CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	000°26'52"	1280.00'	5.00'	10.00'	S 77°41'16" W	10.00'
C2	000°22'28"	1530.00'	5.00'	10.00'	S 77°54'26" W	10.00'
C3	000°24'15"	1580.00'	5.57'	11.15'	S 77°55'20" W	11.15'
C4	004°32'28"	1580.00'	62.65'	125.23'	S 82°12'29" W	125.19'
C5	090°00'00"	25.00'	25.00'	39.27'	N 46°26'05" W	35.36'
C6	086°41'40"	25.00'	23.60'	37.83'	N 18°28'13" W	34.32'
C7	007°25'19"	600.00'	38.92'	77.72'	N 2°16'35" E	77.67'
C8	075°04'06"	250.00'	192.07'	327.55'	S 51°49'20" W	304.62'
C9	019°29'25"	250.00'	42.94'	85.04'	S 82°00'38" W	84.63'
C10	021°29'24"	1855.00'	352.01'	695.75'	N 77°29'58" W	691.68'
C11	018°23'27"	500.00'	80.94'	160.49'	S 10°37'48" E	159.80'
C12	009°39'31"	1100.00'	92.94'	185.43'	N 14°59'46" W	185.21'
C13	009°54'13"	250.00'	21.66'	43.21'	N 5°12'54" W	43.16'
C14	042°12'11"	1555.00'	600.07'	1145.39'	N 81°10'42" W	1119.67'
C15	041°45'32"	1250.00'	476.81'	911.04'	N 81°39'24" W	891.01'
C16	029°51'59"	555.00'	148.02'	289.30'	S 75°42'37" E	286.04'

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That I, Paul Hubert, do hereby certify that this plat was prepared under my supervision, from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

GIVEN UNDER MY SEAL OF OFFICE THIS THE ____ DAY OF _____, 2020.

Preliminary, this document shall not be recorded for any purpose. For Final Plat review purposes only.

PAUL HUBERT
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 1942

APPROVAL CERTIFICATE

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2020.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 2020.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer

ZONING
1.96 DWELLING UNITS PER ACRE
(MAX. OVERALL DENSITY)
[ORD. NO. 18-08-PD-82]

OPEN SPACE = 6.04 AC.
PARK = 8.24 AC.
110 DWELLING UNITS
2.19 UNITS PER ACRE

OWNER/DEVELOPER
BLOOMFIELD HOMES L.P.
1050 E. HWY. 114, SUITE 210
SOUTHLAKE, TEXAS 76092
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LAND SURVEYOR
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1475 RICHARDSON DR., STE 255
RICHARDSON, TX 75080
(214) 395-9386
FAX (214) 295-9844
TBPELS FIRM NO. 10177500

FINAL PLAT
TERRACINA ESTATES, PHASE 1
BEING
50.154 ACRES

SITUATED IN THE
JOHN A. RAMSEY SURVEY, A-186
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

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TEXAS FIRM REG. NO. 001145
201 WINDCO CIRCLE, SUITE 200, WYLIE TEXAS 75098
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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 9, 2020
APPLICANT: Rex and Beverly Fithian
CASE NUMBER: Z2020-018; *Specific Use Permit (SUP) for Residential Infill for 1055 Dalton Road*

SUMMARY

Hold a public hearing to discuss and consider a request by Rex and Beverly Fithian for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 3.03-acre parcel of land identified as Lot 1, Block A, Hodgdon Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 1055 Dalton Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on November 7, 1983 by *Ordinance No. 83-57 [Case No. A1983-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On November 6, 2017, the subject property -- which was a part of a larger 12.327-acre tract of land (i.e. *Tract 1-01 of the T. Dean Survey, Abstract No. 69*) -- was rezoned from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District by *Ordinance No. 17-58 [Case No. Z2017-045]*. Following this change in zoning, the larger 12.327-acre tract of land was platted into two (2) lots (i.e. *Lots 1 & 2, Block A, Hodgdon Addition*) by *Case No. P2017-049* on October 16, 2017. This created the 3.03-acre subject property. On February 4, 2019, the City Council approved an up-zoning request (*Case No. Z2018-059*) changing the zoning designation of the subject property from Single-Family Estate 2.0 (SFE-2.0) to Single-Family Estate 1.5 (SFE-1.5). Currently, the subject property is vacant.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 1055 Dalton Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Dalton Road, which is identified as a M4U (*major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 45.62-acre tract of vacant land (i.e. *Tract 1 of the C. W. Jones Survey, Abstract No. 127*) zoned Agricultural (AG) District. North of this, is Phase 3 of the Castle Ridge Subdivision, which is zoned Single-Family 10 (SF-10) District and consists of 60 single-family residential lots.

South: Directly south of the subject property is a 9.33-acre parcel of land (i.e. *Lot 2, Block A, Hodgdon Addition*), which is occupied with a single-family home. Beyond this is the Promenade Harbor Subdivision, which is zoned Single-Family 10 (SF-10) District and consists of 168 single-family residential lots.

East: Directly east of the subject property is Phase 6 of the Shores North Subdivision, which is zoned Planned Development District 3 (PD-3) for single-family land uses and consists of 70 single-family residential lots. Contained

within this subdivision is Shores Boulevard, which is designated as a *Minor Collector* on the City's Master Thoroughfare Plan.

West: Directly west of the subject property is a 9.33-acre parcel of land (*i.e. Lot 2, Block A, Hodgdon Addition*), which is occupied with a single-family home. Beyond this is the Promenade Harbor Subdivision, which is zoned Single-Family 10 (SF-10) District and consists of 168 single-family residential lots.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." This section goes on to require that "... (a)ll proposed residential infill housing that is located within an Established Subdivision or a lot or tract of land that is located within 50-feet of an Established Subdivision shall be required to apply for a Specific Use Permit." In this case, the subject property shares a common boundary (*i.e. the eastern property line*) with Phase 6 of the Shores North Subdivision, which was platted in 2002 and is considered to be 100% developed. Based on this adjacency the proposed home requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." With this being said, the proposed home is oriented toward Dalton Road and is physically separated from the established subdivision by a stand of trees and floodplain. In addition, only one (1) other home faces on to Dalton Road (*i.e. the home on Lot 1, Block A, Hodgdon Addition -- 1085 Dalton Road*) that is in a close proximity to the subject property, and both the proposed home and the existing home are built in a single-family estate style (*i.e. larger home on a larger lot*) as opposed to the more traditional suburban style of the existing homes in the Shores North Subdivision. Based on this, the traditional criteria used to compare homes in an *Established Subdivision* is not applicable in this case.

The home being proposed by the applicant has a ~7,752 SF building footprint and will incorporate a 384 SF accessory building (*i.e. labeled as pool/cabana on the site plan*). Architecturally the home will utilize a farmhouse style utilizing a HardiBoard oriented in a board-and-batten style. Asphalt shingles will be used as the primary material on the roof with metal accent roofs used on the overhangs and gables. The chimneys will be brick. The proposed home meets or exceeds all requirements of the Unified Development Code (UDC) for a home in the Single-Family Estate 1.5 (SFE-1.5) District. With this being said, the approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On May 27, 2020, staff mailed 72 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Promenade Harbor, Rockwall Shores, and the Shores on Lake Ray Hubbard Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received three (3) notices in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-018

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1055 DALTON ROAD, ROCKWALL, TX 75087
 Subdivision HODGSON ADDITION Lot 1 Block A
 General Location DALTON ROAD APPROX 1/2 MILE WEST OF TH HWY 205

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SINGLE FAMILY RESIDENTIAL current Use VACANT
 Proposed Zoning SINGLE FAMILY RESIDENTIAL Proposed Use SINGLE FAMILY HOME
 Acreage 3.03 Lots [Current] 1 Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner REX & BEVERLY FITHIAN Applicant
 Contact Person REX FITHIAN Contact Person
 Address 653 MISSION DRIVE Address
 City, State & Zip ROCKWALL, TX 75087 City, State & Zip
 Phone 214 215 2030 Phone
 E-Mail rex@dpcservices.net E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Rex Fithian / Beverly Fithian [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of May, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of May, 2020.

Owner's Signature

[Handwritten Signature]
Beverly Fithian


Notary Public in and for the State of Texas

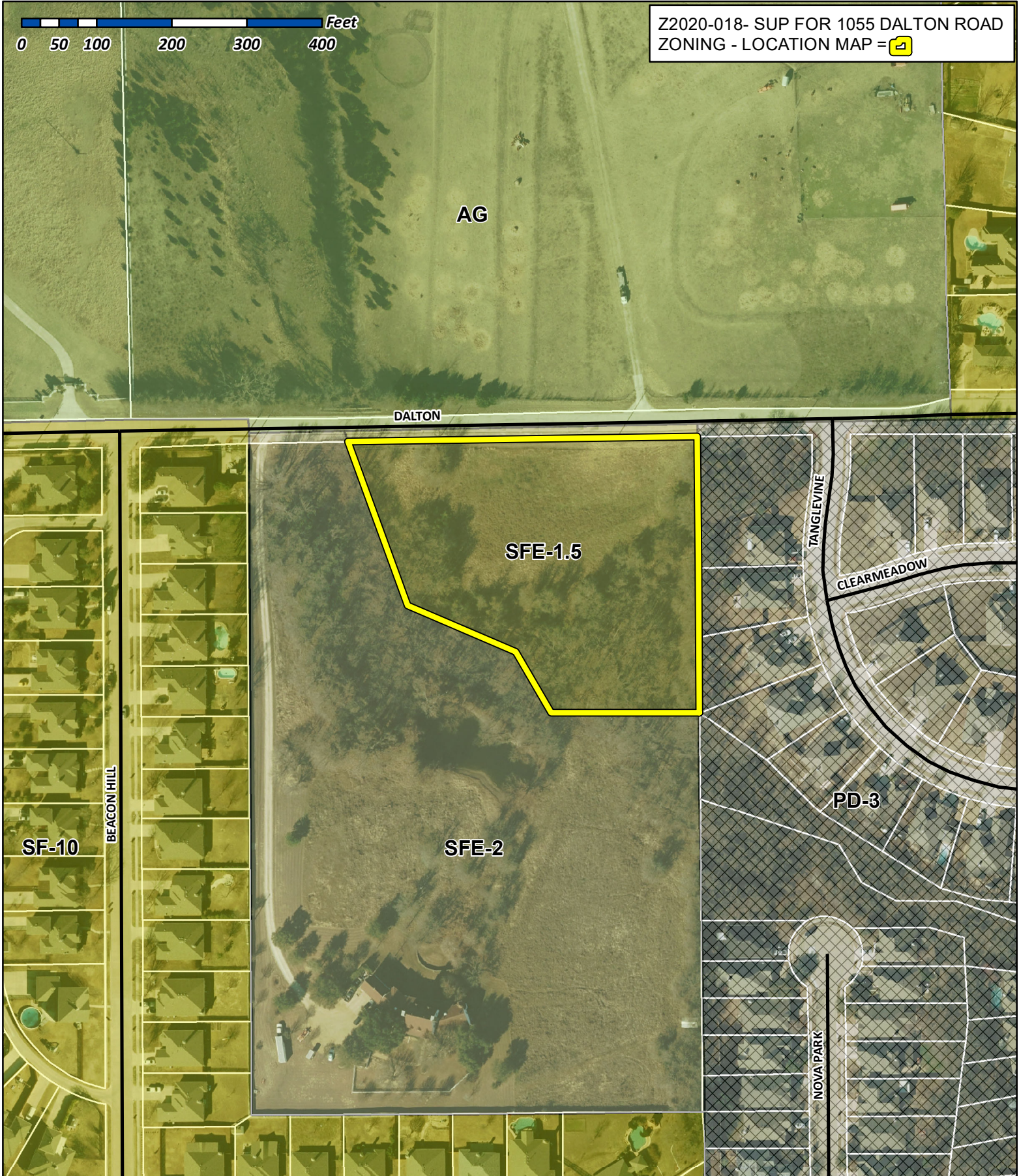
[Handwritten Signature]
Theresa L Moss



My Commission Expires 12-08-2020

0 50 100 200 300 400 Feet

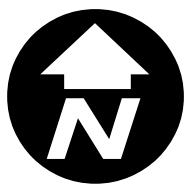
Z2020-018- SUP FOR 1055 DALTON ROAD
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

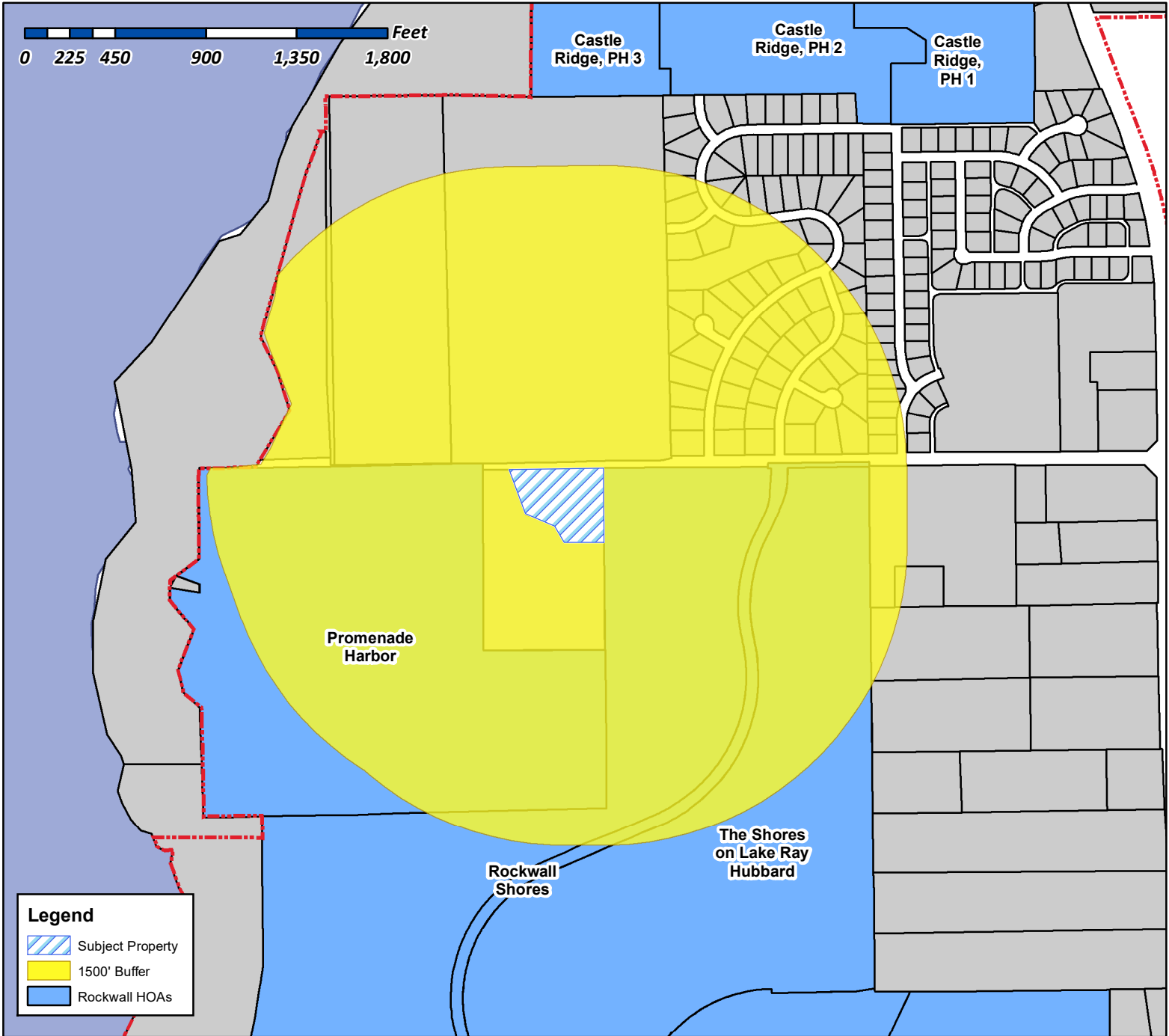




City of Rockwall

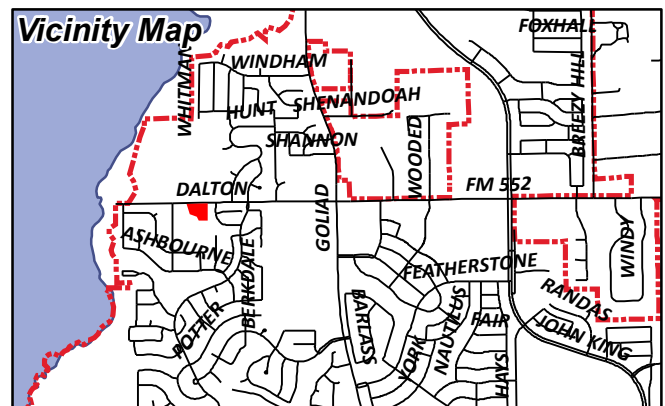
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-018
Case Name: SUP for 1055 Dalton Rd
Case Type: Specific Use Permit
Zoning: Single-Family Estates 1.5 (SFE-1.5) District
Case Address: 1055 Dalton Road

Date Created: 5/17/2020
 For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#)
Subject: Neighborhood Notification Program
Date: Wednesday, May 20, 2020 11:45:31 AM
Attachments: [HOA Map \(05.14.2020\).pdf](#)
[PUBLIC NOTICE.PDF](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [May 29, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, June 9, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, June 15, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-018 SUP for Residential Infill for 1055 Dalton Road

Hold a public hearing to discuss and consider a request by Rex and Beverly Fithian for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 3.03-acre parcel of land identified as Lot 1, Block A, Hodgdon Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 1055 Dalton Road, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

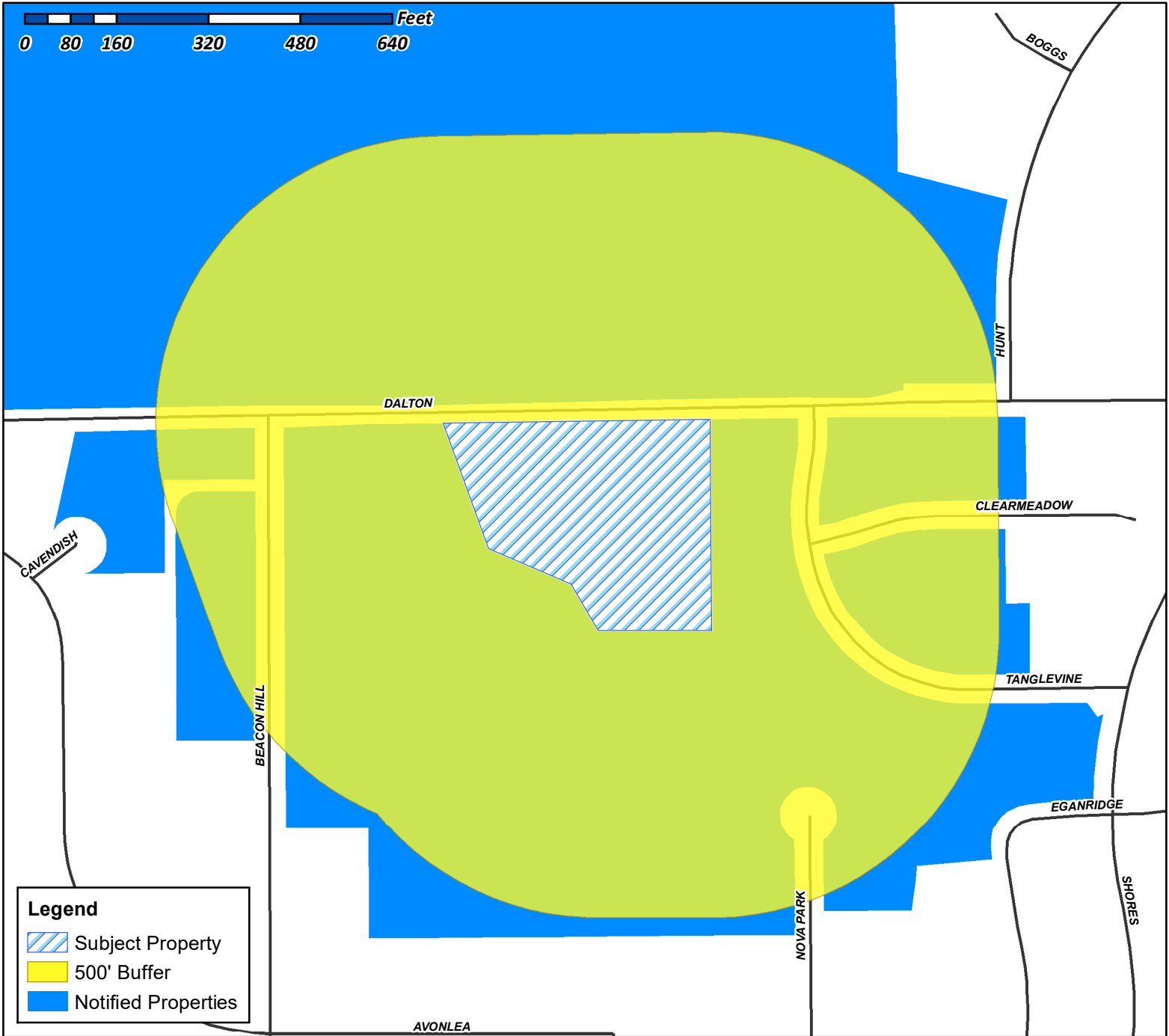
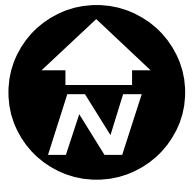
<http://www.rockwall.com/planning/>



City of Rockwall

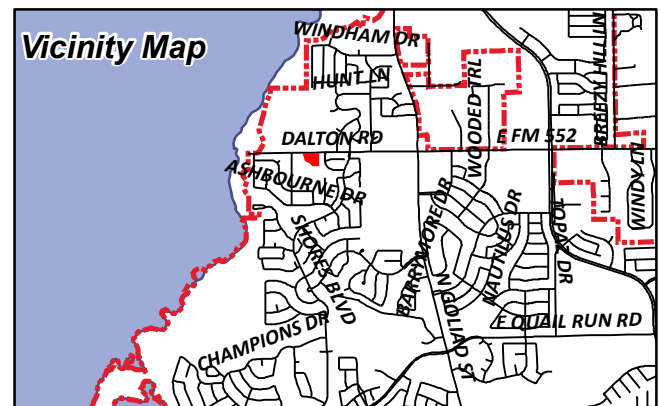
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-018
Case Name: SUP for 1055 Dalton Road
Case Type: Specific Use Permit
Zoning: Single-Family Estate 1.5 (SFE-1.5)
District:
Case Address: 1055 Dalton Road

Date Created: 5/17/2020
 For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT
1085 DALTON RD
ROCKWALL, TX 75087

WALKER LEONARD A JR & TRESSIA Y
1340 TANGLEVINE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1345 CLEARMEADOW
ROCKWALL, TX 75087

JESTER IRVING P & ALICE
1345 TANGLEVINE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1350 CLEARMEADOW
ROCKWALL, TX 75087

SANDERS BRIAN PETER AND CASSANDRA ALICE
1355 CLEAR MEADOW CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1355 TANGLEVINE
ROCKWALL, TX 75087

SAMPLES CHRISTINA ELISE
1360 TANGLEVINE LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1365 CLEARMEADOW
ROCKWALL, TX 75087

HEARN LESLIE
1365 TANGLEVINE DR
ROCKWALL, TX 75087

VANDERVER WES A & SARA A
1370 CLEAR MEADOW COURT
ROCKWALL, TX 75087

SAENZ SANDRA AND ADRIAN
1370 TANGLEVINE LANE
ROCKWALL, TX 75087

CURRENT RESIDENT
1375 CLEARMEADOW
ROCKWALL, TX 75087

LANGFORD JAMES GORDON
1380 TANGLEVINE LANE
ROCKWALL, TX 75087

CURRENT RESIDENT
1385 TANGLEVINE
ROCKWALL, TX 75087

NEECE DAVID W SR & LYNNE MARIE
1390 TANGLEVINE LN
ROCKWALL, TX 75087

HOWARD STEPHANIE RAMAGE AND
GREGORY MAYO HOWARD
1395 CLEAR MEADOW CT
ROCKWALL, TX 75087

CURRENT RESIDENT
1395 TANGLEVINE
ROCKWALL, TX 75087

WILSON ANDREW AND CARRI
1400 TANGLEVINE LANE
ROCKWALL, TX 75087

BRINKLEY JESSE K
1410 TANGLEVINE DR
ROCKWALL, TX 75087

SHOLTIS EUGENE J JR AND SHANNON L
1420 TANGLEVINE LN
ROCKWALL, TX 75087

COFFMAN THOMAS E &
LINDA DARNELL
1431 COASTAL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1440 TANGLEVINE
ROCKWALL, TX 75087

CLARK CHARLES L & SANDRA J TRUSTEES
CHARLES L & SANDRA J CLARK FAMILY TRUST
1739 MORLEY STREET
SIMI VALLEY, CA 93065

WILLIS MICHAEL & LISA
1750 DALTON RD
ROCKWALL, TX 75087

ALVES SAMUEL
2080 BERKDALE LN
ROCKWALL, TX 75087

LANGSTON TIFFINI S
215 HARRIS COVE
LONGVIEW, TX 75605

PARKS NADINE R
2701 NOVA PARK CT
ROCKWALL, TX 75087

THOMAS PATIENCE AND JAMES
2710 NOVA PARK
ROCKWALL, TX 75087

MICHIE JOHN D & PHYLLIS R
2711 NOVA PARK CT
ROCKWALL, TX 75087

IZAK MARY L
2720 NOVA PARK CT
ROCKWALL, TX 75087

DIANE SAUTUCCI DEWBERRY LIVING TRUST
DIANE S DEWBERRY - TRUSTEE
2721 NOVA PARK CT
ROCKWALL, TX 75087

SAENZ RICHARD GEORGE AND BERNADINE
2730 NOVA PARK CT
ROCKWALL, TX 75087

NIEBUR ALAN R & COURTNEY
2731 EGANRIDGE LN
ROCKWALL, TX 75087

DELLA FRANK E II
2731 NOVA PARK COURT
ROCKWALL, TX 75087

KEEL DON E & NANCY A
2740 BEACON HILL DR
ROCKWALL, TX 75087

NABI HOSNI A & LYNN
2740 NOVA PARK CT
ROCKWALL, TX 75087

WOODDELL SCOTT W AND DEBBIE L
2741 NOVA PARK CT
ROCKWALL, TX 75087

GRASTY RAYMOND B
2750 BEACON HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2760 BEACON HILL
ROCKWALL, TX 75087

SCHAFFHAUSER SUSAN K
2765 BEACON HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2770 BEACON HILL
ROCKWALL, TX 75087

THOMPSON DONALD AND MARY
2775 BEACON HILL DR
ROCKWALL, TX 75087

BRITTAIN WAYNE W &
BARBARA J
2780 BEACON HILL DR
ROCKWALL, TX 75087

BERGMANN KATHARINA
2785 BEACON HILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2790 BEACON HILL
ROCKWALL, TX 75087

CURRENT RESIDENT
2795 BEACON HILL
ROCKWALL, TX 75087

ONEILL KATHLEEN E
2800 BEACON HILL DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
2805 BEACON HILL
ROCKWALL, TX 75087

CURRENT RESIDENT
2810 BEACON HILL
ROCKWALL, TX 75087

MCDANIEL DAVID L & LINDA D
2810 CAVENDISH CT
ROCKWALL, TX 75087

WALKER DONALD H
2815 BEACON HILL DR
ROCKWALL, TX 75087

HOLBROOK SANDRA
2820 BEACON HILL DR
ROCKWALL, TX 75087

EDWARDS SUSAN L
2820 CAVENDISH CT
ROCKWALL, TX 75087

JOHNSON DAVID J
2825 BEACON HILL DR
ROCKWALL, TX 75087

JACOBSON KYLE AND CHLOE A REED
2830 BEACON HILL DR
ROCKWALL, TX 75087

CHIU THOMAS
301 CRESTBROOK
ROCKWALL, TX 75087

AMH 2015-2 BORROWER LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

CULLINS KENNETH & HEATHER
3114 STONEY HOLLOW LANE
ROCKWALL, TX 75087

DAYMAN DENNIS & JENNIFER
519 CELLARS CT
ROCKWALL, TX 75087

DATTA SOURYA AND
REKHA HARIHARAN
558 FLAGLER ST
SAN JOSE, CA 95127

NABORS MIKE N ETUX JULIE
7101 HUNT LN
ROCKWALL, TX 75087

DOWNS MICHAEL
7103 HUNT LN
ROCKWALL, TX 75087

CURRENT RESIDENT
7105 HUNT LN
ROCKWALL, TX 75087

CSH 2016-2 BORROWER LLC
8665 EAST HARTFORD DR SUITE 200
SCOTTSDALE, AZ 85255

PALMIERI THERESE
970 W YELLOWJACKET LN APT 618
ROCKWALL, TX 75087

ARP 2014-1 BORROWER LLC
ATTN: PROPERTY TAX DEPARTMENT 30601
AGOURA ROAD SUITE 200PT
AGOURA HILLS, CA 91301

ESB PRIVATE TRUST
C/O EDWARD JONES TRUST COMPANY
P. O. BOX 66503
ST. LOUIS, MO 63166

VANWINKLE DAVID T AND PATRICIA K
P. O. BOX 773451
STEAMBOAT SPRINGS, CO 80477

HODGDON DAVID L & SUE WYCHE
PO BOX 1106
ROCKWALL, TX 75087

FLORES JAMES AND
PATRICIA ORR FLORES
PO BOX 237
ROCKWALL, TX 75087

FLORES JAMES & PATRICIA
PO BOX 992
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-018: SUP for Residential Infill for 1055 Dalton Road

Hold a public hearing to discuss and consider a request by Rex and Beverly Fithian for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 3.03-acre parcel of land identified as Lot 1, Block A, Hodgdon Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 1055 Dalton Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 6/9/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 6/15/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

Your comments must be received by **6/15/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-018: SUP for Residential Infill for 1055 Dalton Road

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Grey bar for entering the name.

Address:

Grey bar for entering the address.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-018: SUP for Residential Infill for 1055 Dalton Road

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name:

Cullins

Address:

3114 Stoner Hollow / 401B Country Ridge Rd

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-018: SUP for Residential Infill for 1055 Dalton Road

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

As is, constantly collects trash. Would be nice to see something built on this area —

Name: Sandra Holbrook
Address: 2822 Beacon Hill Dr

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-018: SUP for Residential Infill for 1055 Dalton Road

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: Andrew & Carri Wilson
Address: 1400 Tangievine Dr. Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

2020 Notice of Appraised Value

ROCKWALL CENTRAL APPRAISAL DISTRICT
841 JUSTIN ROAD
ROCKWALL, TX 75087
 Phone: 972-771-2034 Fax: 972-771-6871

Property ID: 94334
 Ownership %: 100.00
 GEO ID: S3984-000A-0001-00-0R
 Legal: HODGDON ADDITION, BLOCK A, LOT 1
 Legal Acres:
 Situs: DALTON RD ROCKWALL, TX 75087
 Owner ID: 1097351
 EFile PIN: zjVtAduMEgBS

DATE OF NOTICE: April 15, 2020

19121 1 AV 0.389*****AUTO**S-DIGIT 75087 EDGS 2 FT 26



Property ID: 94334 - S3984-000A-0001-00-0R
 FITHIAM BEVERLY AND REX
 653 MISSION DR
 ROCKWALL TX 75087-8404



Dear Property Owner,
 We have appraised the property listed above for the tax year 2020. As of January 1, our appraisal is outlined below.

Appraisal Information			Last Year - 2019		Proposed - 2020	
Improvements (Structures / Buildings, etc.) Market Value			0		0	
Market Value of Non Ag/Timber Land			157,560		262,700	
Market Value of Ag/Timber Land			0		0	
Market Value of Personal Property/Minerals			0		0	
Total Market Value			157,560		262,700	
Productivity Value of Ag/Timber Land			0		0	
Appraised Value			157,560		262,700	
Homestead Cap Value excluding Non-Homesite Value (i.e. Ag, Commercial)			0		0	
Exemptions (DV - Disabled Vet, DP-Disabled Person, HS-Homestead, OV65-Over 65)						

2019 Exemption Amount	2019 Taxable Value	Taxing Unit	2020 Proposed Assessed Value	2020 Exemption Amount	2020 Taxable Value	2019 Tax Rate	2020 Estimated Taxes	Freeze Year and Tax Ceiling
0	157,560	CITY OF ROCKWALL	262,700	0	262,700	0.387900	1,019.02	
0	157,560	ROCKWALL COUNTY	262,700	0	262,700	0.325000	853.78	
0	157,560	ROCKWALL ISD	262,700	0	262,700	1.350000	3,546.45	

DO NOT PAY FROM THIS NOTICE Total Estimated Tax: \$5,419.25

"The Texas Legislature does not set the amount of your local taxes. Your property tax burden is decided by your locally elected officials, and all inquiries concerning your taxes should be directed to those officials."

*Your residence homestead is protected from future appraisal value increases in excess of 10% per year from the date of the last appraisal PLUS the value of any new improvements. Any property previously omitted from the appraisal will be added as allowed by Section 25.21 of the Texas Property Tax Code. The above tax estimates use last year's tax rates for the taxing units shown. The governing body of each unit (school board, county commissioners, and so forth) decides whether property taxes increase. The appraisal district only determines your property's value. The taxing units will set tax rates later this year. If you wish to appeal, you must file a WRITTEN protest with the ARB by the deadline date:

** If you are age 65 or older and received the \$10,000 school tax exemption on your home last year from the school listed above, your school taxes for this year will not be higher than when you first received the exemption on your home. If you are disabled and received the \$10,000 school tax exemption on your home last year from the school listed above, your school taxes for this year will not be higher than the 2003 taxes or the first year you received the exemption, whichever is later. If your county, city, or junior college has approved a limitation on your taxes in the preceding year, your county, city, or junior college taxes will not be higher than the first year your county, city, or junior college approved the limitation or the first year you qualified for the limitation. **If you improved your property (by adding rooms or buildings) your school, county, city, or junior college ceiling may increase for these improvements.** If you are a surviving spouse age 55 or older of a person that qualified for the age 65 or older exemption, you may retain the school, county, city, or junior college tax ceiling. Contact the appraisal office if you disagree with this year's proposed value for your property or if you have any concerns with the property description or address information. If the issue cannot be resolved, you have the right to appeal to the Appraisal Review Board (ARB).

THIS IS NOT A BILL

Deadline for filing a protest: May 15, 2020
Location of Hearings: 841 JUSTIN ROAD, ROCKWALL, TX 75087
ARB will begin hearings: May 18, 2020

A PROTEST FORM to send to the Appraisal District Office is on the back of this notice. If you intend to appear and present evidence before the ARB. A protest is sufficient if it includes the protesting property owner, account number, property address and reason for protesting. The ARB will notify you of the date, time, and place of your scheduled hearing. Enclosed, also, is information to help you in preparing your protest.

If you have any questions or need more information, please contact the appraisal district office at 972-771-2034 or at the address shown above.

Sincerely,
 Chief Appraiser

DALTON RD

FITHIAN
RESIDENCE
ROCKWALL, TX

ISSUE LOG

DATE ISSUE	DESCRIPTION

REVISION LOG

DATE ISSUE	DESCRIPTION	REV. NO.

ISSUED FOR:

- PRELIMINARY -
- BIDDING / PERMIT
- REVISION
- FOR CONSTRUCTION



ARCH. PROJ. #: 20201	SCALE: REF. DRAWING
-------------------------	------------------------

SHEET NO.

A2.1

SITE PLAN

57'-0"

109'-9 1/2"

60' SETBACK

CENTER

9'-1 1/4"

45'-7 1/2"

9'-0"

6'-0"

16'-0"

12'-0"

16'-0"

30'-0 1/4"

24'-0"

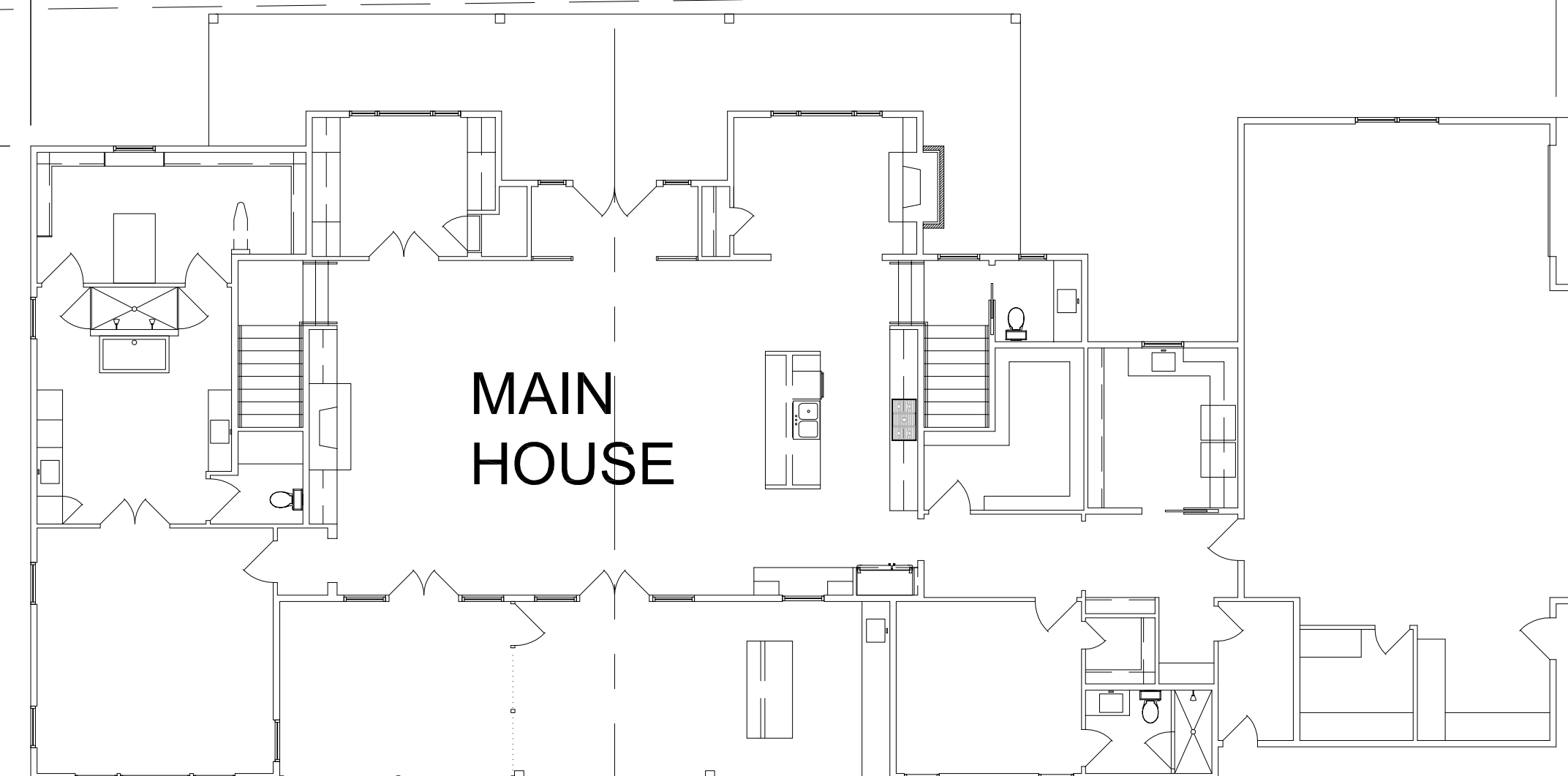
CENTER

MAIN
HOUSE

FUTURE
GUEST
HOUSE

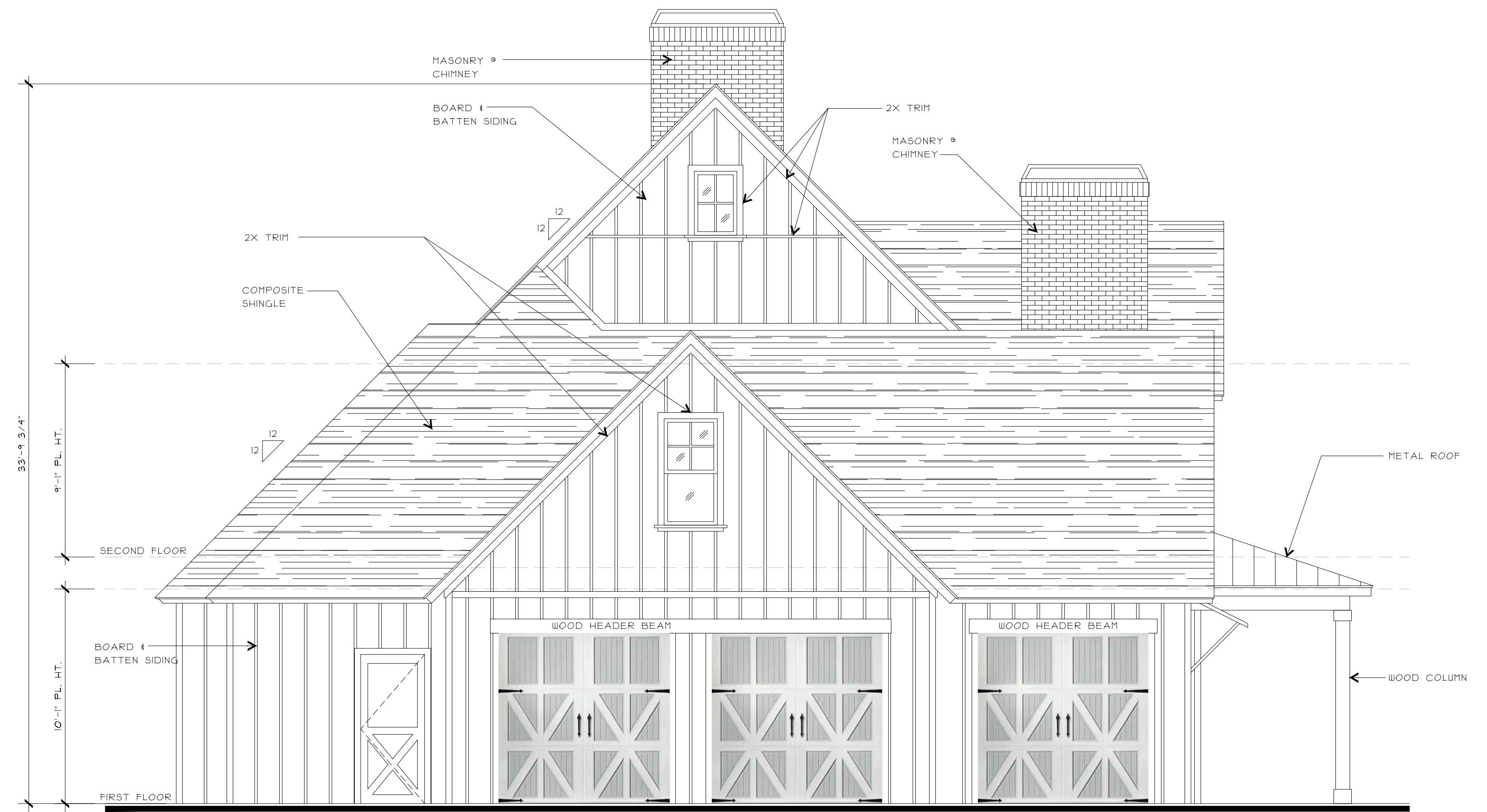
POOL
CABANA

BUILD LINE



01 ARCHITECTURAL SITE PLAN

SCALE: 1/8" = 1'



02 EAST ELEVATION
SCALE: 1/4"=1'-0"



01 NORTH ELEVATION
SCALE: 1/4"=1'-0"

ISSUE LOG

DATE	DESCRIPTION

REVISION LOG

DATE	DESCRIPTION	REV. NO.

ISSUED FOR:

- PRELIMINARY -
- BIDDING / PERMIT
- REVISION
- FOR CONSTRUCTION



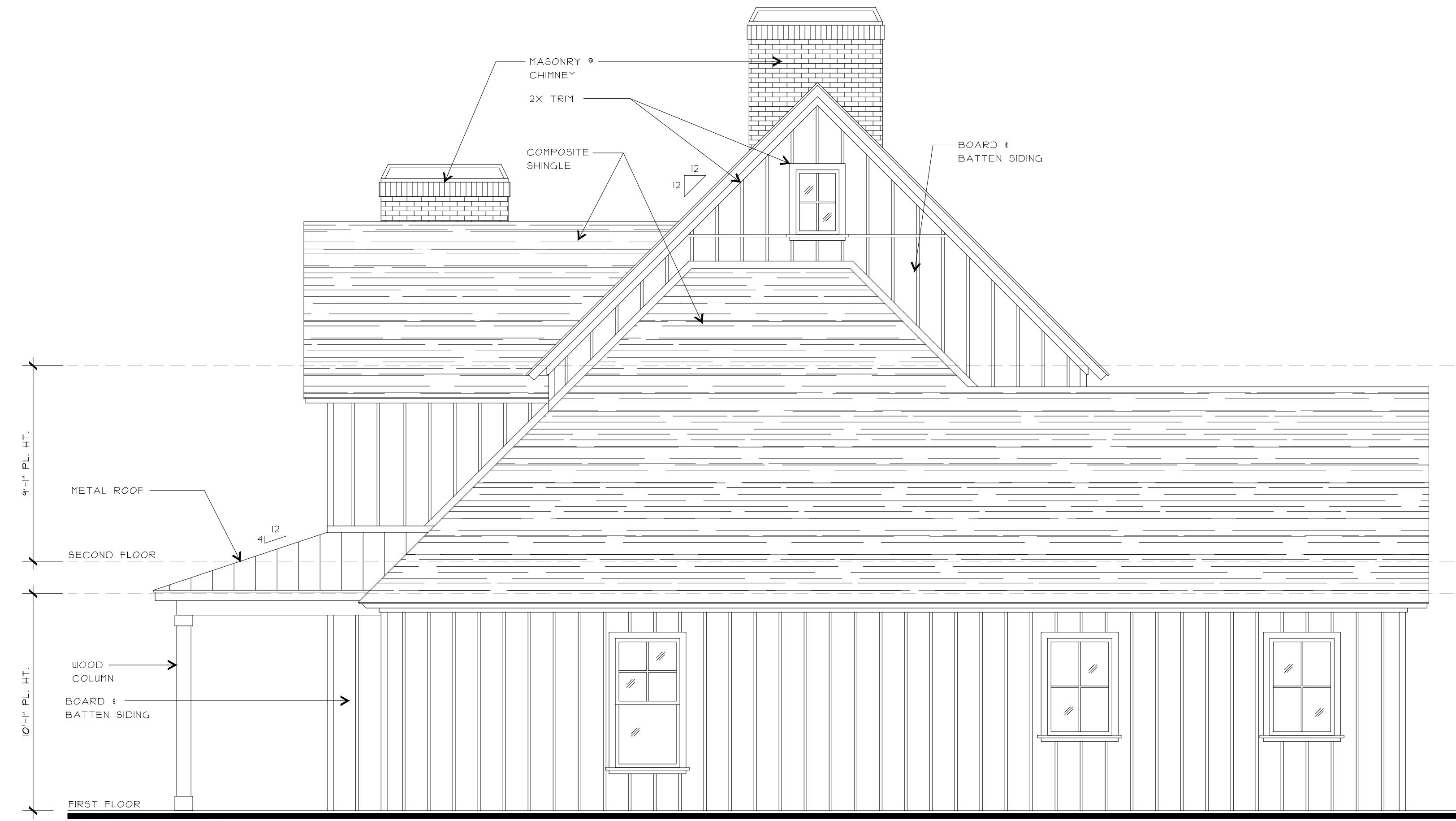
ARCH. PROJ. #:
20201

SCALE:
REF. DRAWING

SHEET NO.

A5.1

ELEVATIONS
BOARD & BATTEN



02 WEST ELEVATION

SCALE: 1/4"=1'-0"



01 SOUTH ELEVATION

SCALE: 1/4"=1'-0"

ISSUE LOG

DATE	DESCRIPTION

REVISION LOG

DATE	DESCRIPTION	REV. NO.

ISSUED FOR:

- PRELIMINARY -
- BIDDING / PERMIT
- REVISION
- FOR CONSTRUCTION



ARCH. PROJ. #: 20201	SCALE: REF. DRAWING
SHEET NO.	

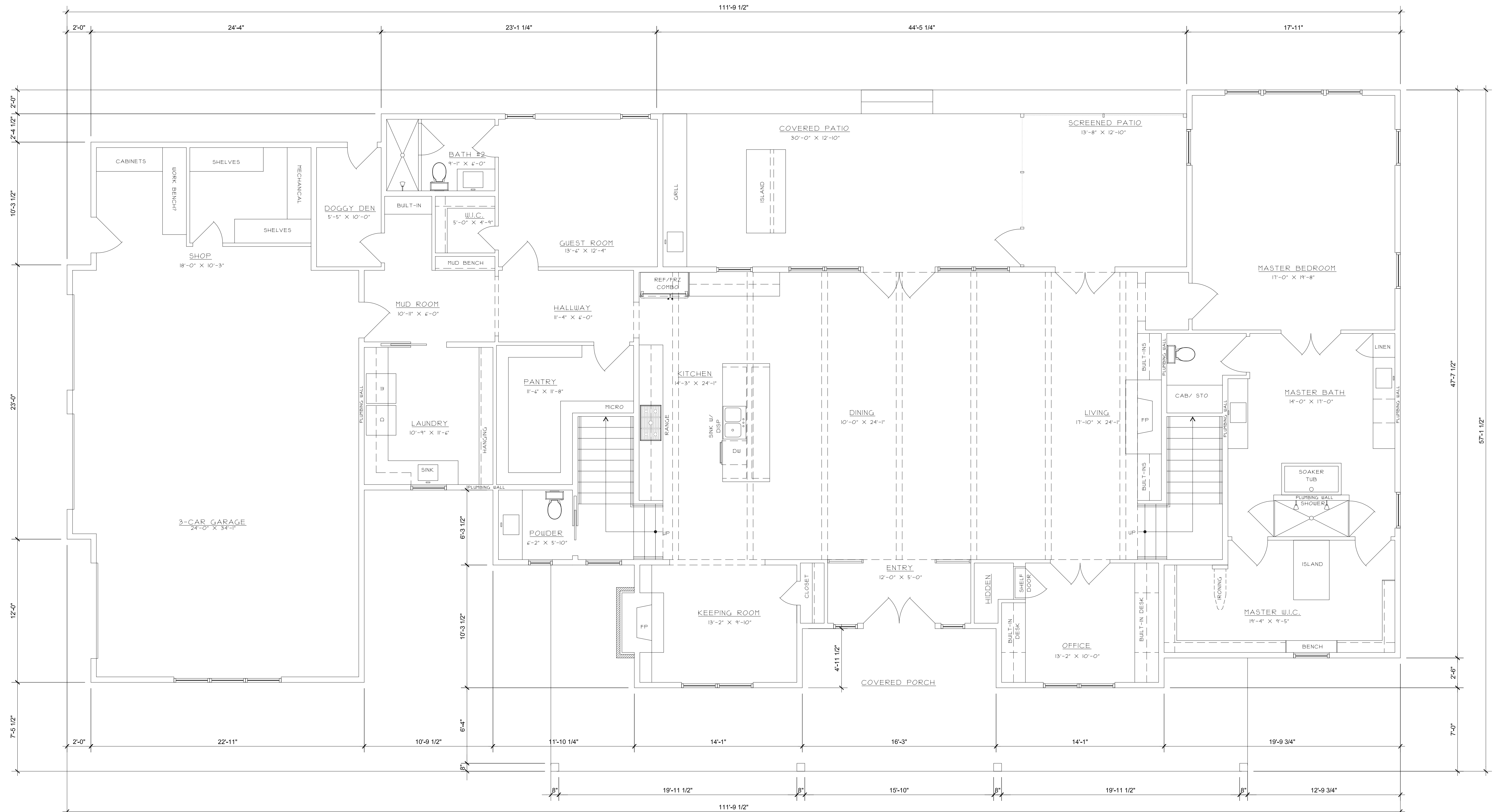
A5.2

ELEVATIONS
BOARD & BATTEN

SQUARE FOOTAGE CALCS

3275+1971 = 5066
5066+348 = 5414
5066+210 = 5276
5066+348+210 = 5624

SF	AREAS	
3,275	1ST FLOOR PLAN	
1,791	2ND FLOOR PLAN	
348	ATTIC #1 / CATWALK	**OPTIONAL
210	ATTIC #2	**OPTIONAL
5,624	TOTAL CONDITIONED	
829	GARAGE	
198	SHOP/ STORAGE	
531	COVERED PORCH	
564	COVERED/SCREENED PATIO	
2,128	TOTAL	
1,752	TOTAL UNDER ROOF	



01 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0" 3/27/20

ISSUE LOG

DATE	DESCRIPTION

REVISION LOG

DATE	DESCRIPTION	REV. NO.

ISSUED FOR:

- PRELIMINARY -
- BIDDING / PERMIT
- REVISION
- FOR CONSTRUCTION



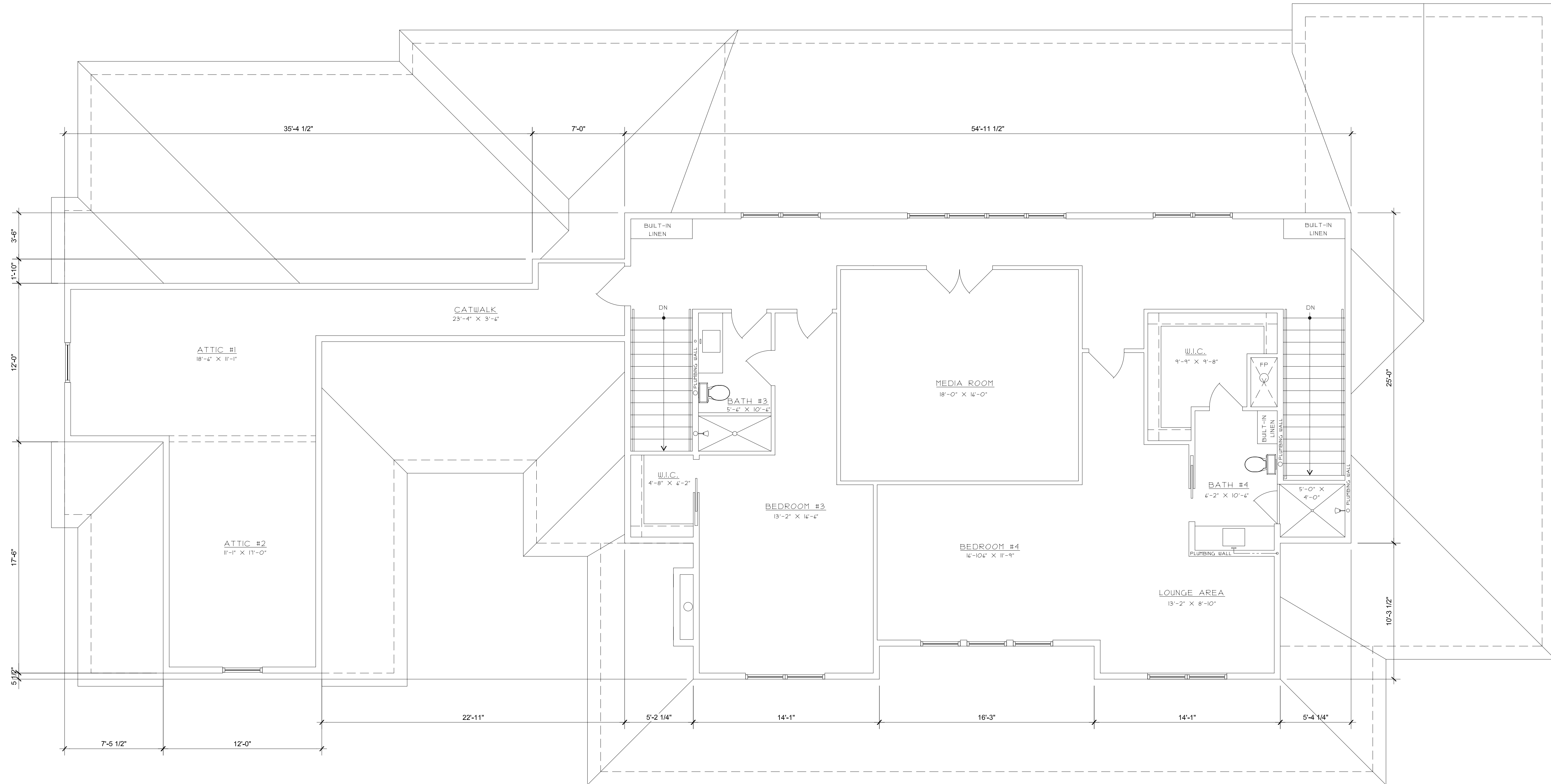
ARCH. PROJ. #:
20201

SCALE:
REF. DRAWING

SHEET NO.

A3.1

FIRST FLOOR PLAN



ISSUE LOG

DATE	DESCRIPTION

REVISION LOG

DATE	DESCRIPTION	REV. NO.

ISSUED FOR:

- PRELIMINARY -
- BIDDING / PERMIT
- REVISION
- FOR CONSTRUCTION



ARCH. PROJ. #:
20201

SCALE:
REF. DRAWING

SHEET NO.

A3.2

SECOND FLOOR PLAN

01 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"
03/27/20

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 3.03-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, HODGDON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Rex and Beverly Fithian for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 3.03-acre parcel of land being described as Lot 1, Block A, Hodgdon Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family Estate 1.5 (SFE-1.5) District, addressed as 1055 Dalton Road, and being more specifically described and depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the Subject Property and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.02, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended

in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JULY, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 15, 2020

2nd Reading: July 6, 2020

Exhibit 'A'
Location Map

Address: 1055 Dalton Road

Legal Description: Lot 1, Block A, Hodgdon Addition

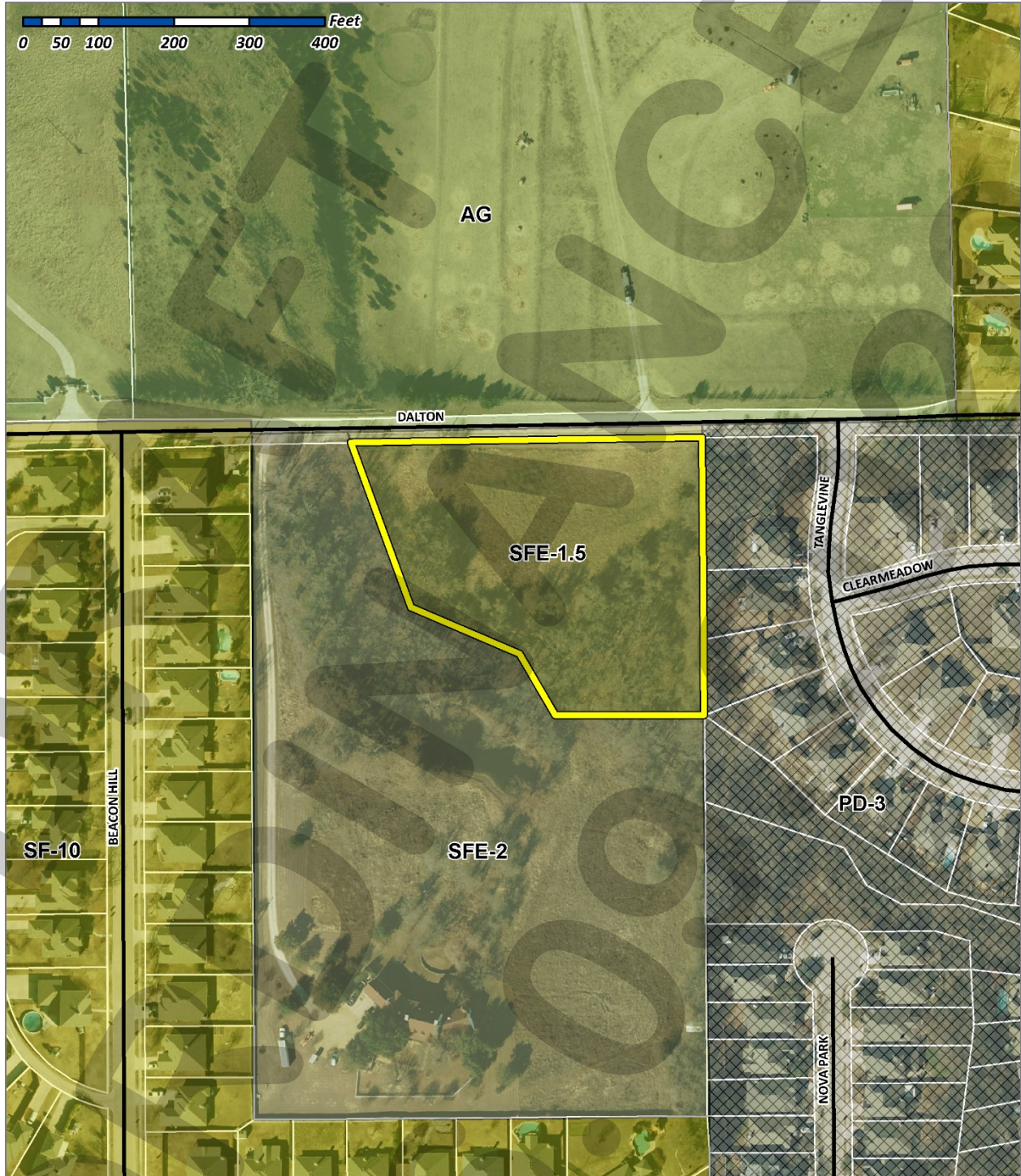


Exhibit 'B':
Residential Plot Plan

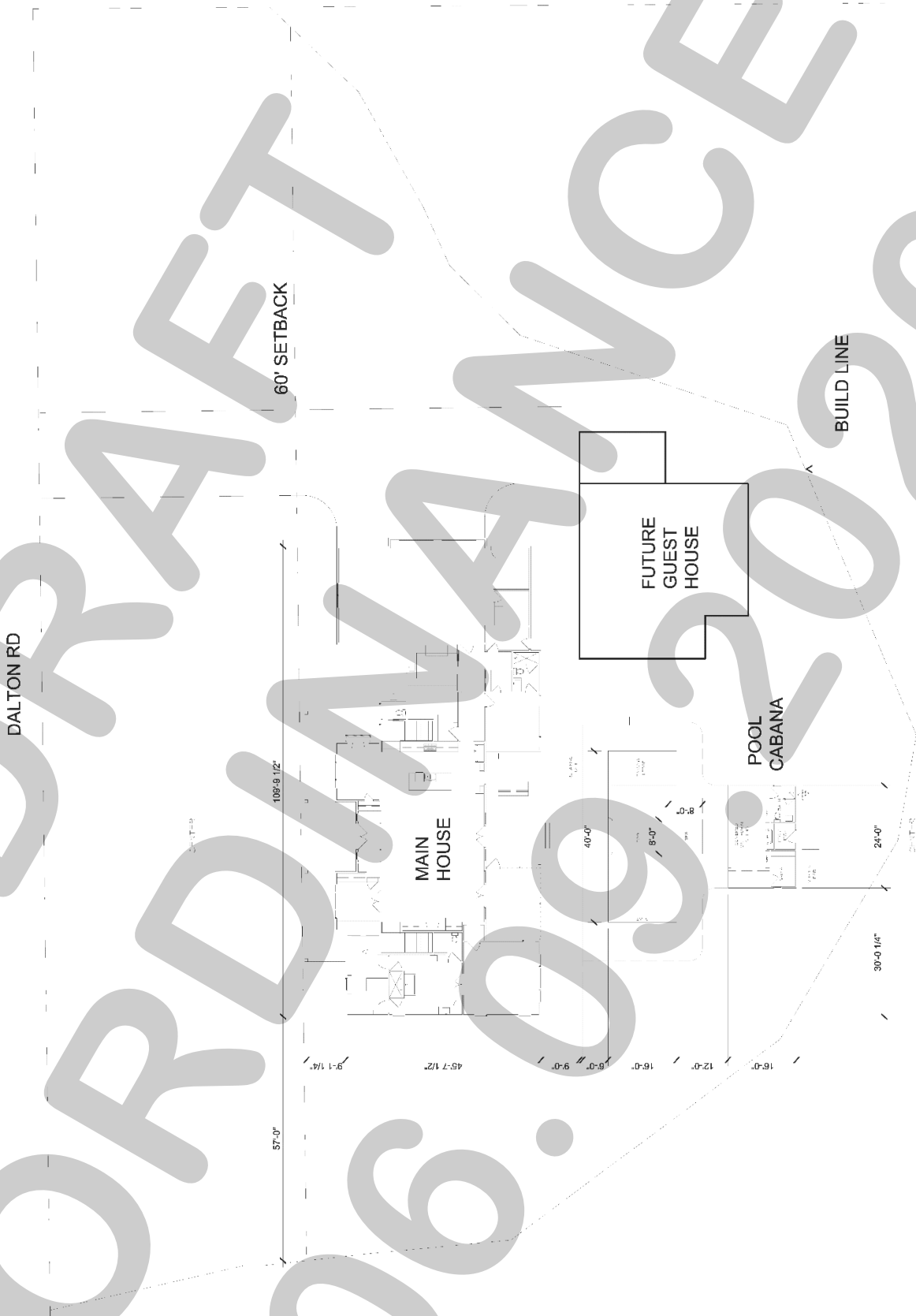


Exhibit 'C':
Building Elevations

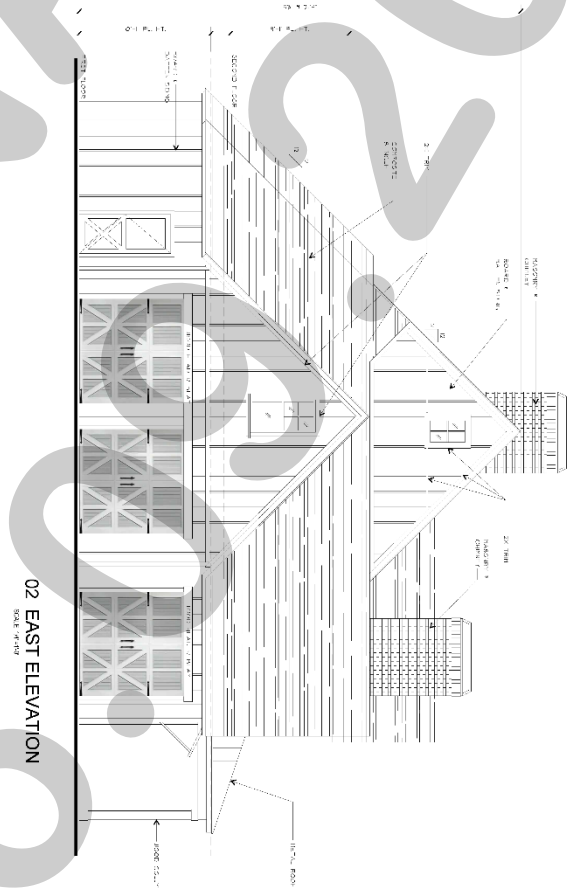
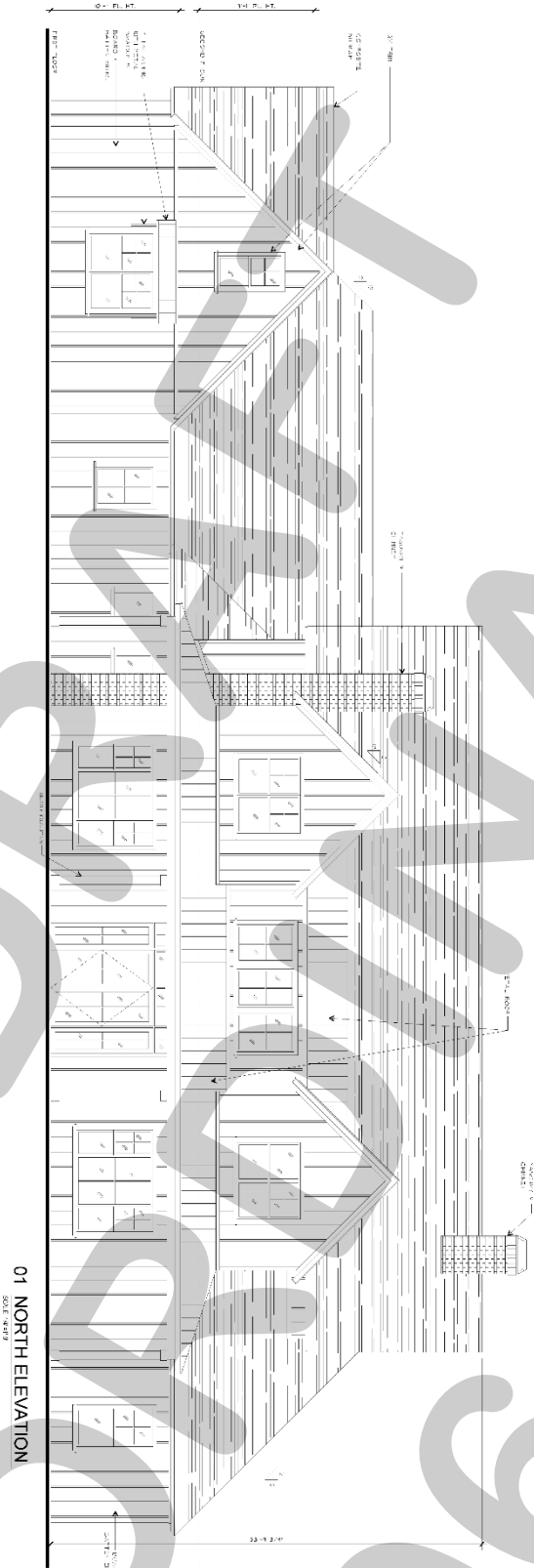
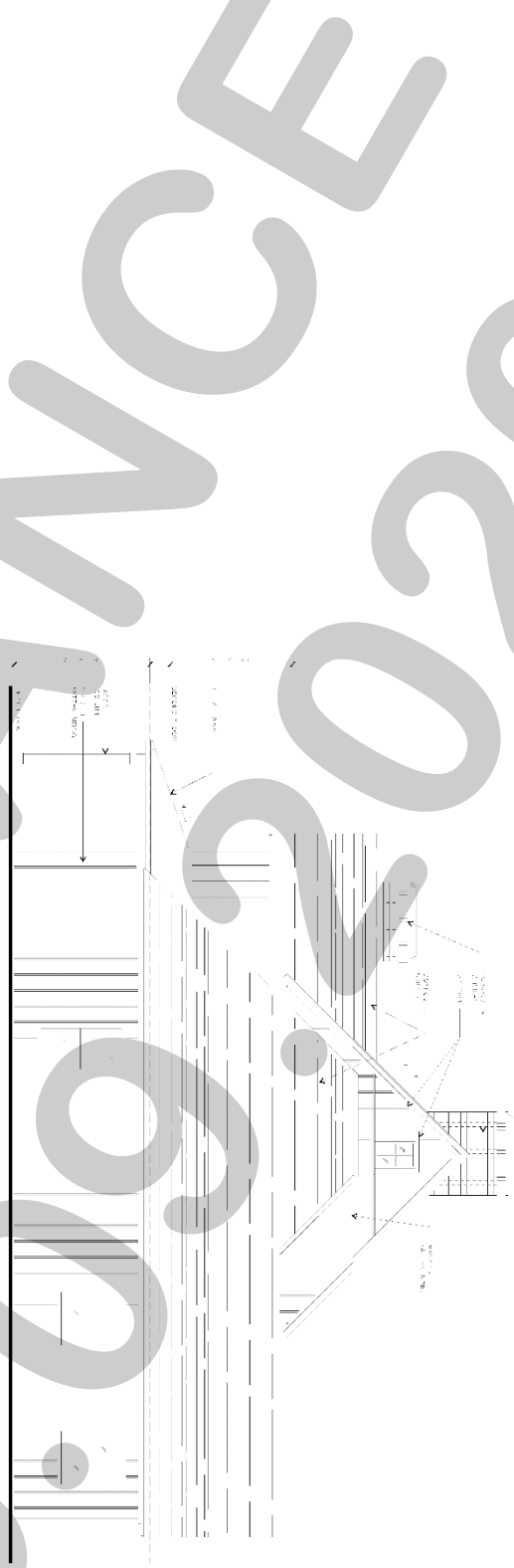


Exhibit 'C':
Building Elevations



01 SOUTH ELEVATION



02 WEST ELEVATION



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 9, 2020
APPLICANT: J. W. Jones
CASE NUMBER: Z2020-019; *Specific Use Permit (SUP) for a Residential Infill for 247 Chris Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by J. W. Jones for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a portion of Lot 1050 and all of Lot 1051, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lots 1050 & 1051 of the Rockwall Lake Properties Development No. 2 Addition, which was filed with Rockwall County on April 23, 1968. At some point prior to 2006, Lot 1050 was subdivided by metes and bounds into two (2) equal tracts of land, and one-half was combined with Lot 1051 and one-half was combined with a portion of Lot 1049 by common ownership. The subject property was annexed into the City of Rockwall on February 17, 2009 by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the subject property from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. According to the Rockwall Central Appraisal District (RCAD), the mobile home currently situated on the subject property was installed in 1984 and is 1,280 SF. In 1998, a 130 SF accessory building was constructed on the property, and in 2000 a 192 SF covered porch was constructed onto the mobile home.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 247 Chris Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes. Beyond this is Evans Road, which is classified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes. Beyond this is County Line Road, which is classified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes. Beyond this is Yvonne Drive, which is classified as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Chris Drive, which is identified as a R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond this are multiple lots zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses. These properties are mostly developed with mobile homes, with some of the lots being developed with single-family homes.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the Lake Rockwall Estates Subdivision, which has been in existence since before 1968 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Chris Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Chris Drive Between County Line Road and the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	One (1) Story
Building Orientation	All of the homes located along Chris Drive are oriented toward Chris Drive.	The front elevation of the home will face onto Chris Drive.
Year Built	1973-2017	N/A
Building SF on Property	672-3,650 SF	2,624 SF
Building Architecture	Various (<i>Majority Mobile/Modular Home</i>)	Comparable Architecture to Existing Homes
Building Setbacks:		
Front	Estimated Between zero (0) and 20-Feet	20-Feet
Side	The side yard setbacks appear to be between zero (0) and six (6) feet.	5-Feet
Rear	The rear yard setbacks appear to range from zero (0) and greater than ten (10) feet.	15-Feet
Building Materials	Modular Homes, HardiBoard, Aluminum & Wood Siding, Modular Paneling, Masonite Siding, and Brick.	Combination of HardiBoard Siding and Brick
Paint and Color	Blue, Yellow, Tan, Brown, White, Green, Pink Red, and Grey	<i>Undefined by the Applicant</i>
Roofs	Composite Shingles and Metal	Composite Shingle
Driveways	Driveways are all in the front and visible from Chris Drive. Some homes have garages and/or carports; however, the majority are just driveways.	The applicant has stated that the existing driveway being used by the mobile home will continued to be used and that they are not proposing to construct a garage.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 75 [*Ordinance No. 09-37*] and for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Chris Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On May 27, 2020, staff mailed 161 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Prior to the issuance of a building permit for a single-family home the subject property needs to be replatted into one (1) residential lot.
- (3) The proposed single-family home will be required to demonstrate that a minimum of two (2) off-street parking spaces will be provided prior to the issuance of a building permit.
- (4) Prior to the acceptance and issuance of a Certificate of Occupancy (CO) for the proposed home, the existing mobile home and covered porch shall be removed from the property.
- (5) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-019

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (SELECT ONLY ONE BOX):

Plotting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION (PLEASE PRINT)

Address 247 CHRIS DR.

Subdivision ROCKWALL LAKE PROPERTIES

General Location South of Interstate 30

Development No. 2
Lot 1051 Block _____
and 1/2 of Lot 1050

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

Current Zoning Residential

Current Use Residential

Proposed Zoning Residential-Specific Use Permit

Proposed Use Residential

Acreage Less than one Acre Lots [Current] 1 1/2

Lots [Proposed] 1 1/2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3162 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED)

Owner

Applicant J.W. Jones

Contact Person

Contact Person J.W. Jones

Address

Address 555 N. 5th St.
Suite 113

City, State & Zip

City, State & Zip GARLAND TX 75040

Phone

Phone 214-535-2850

E-Mail

E-Mail Jayjones1941@hotmail.com

NOTARY VERIFICATION (REQUIRED)

Before me, the undersigned authority, on this day personally appeared J.W. Jones (the undersigned), who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of MAY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 13 day of May, 20 20

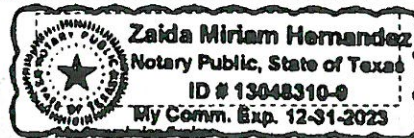
APPLICANTS

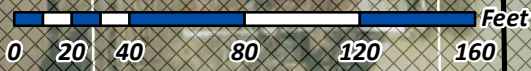
Applicant's Signature

J.W. Jones

Notary Public in and for the State of Texas

[Signature]





Z2020-019- SUP FOR 247 CHRIS DRIVE
ZONING - LOCATION MAP =



PD-75

CHRIS

YVONNE



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

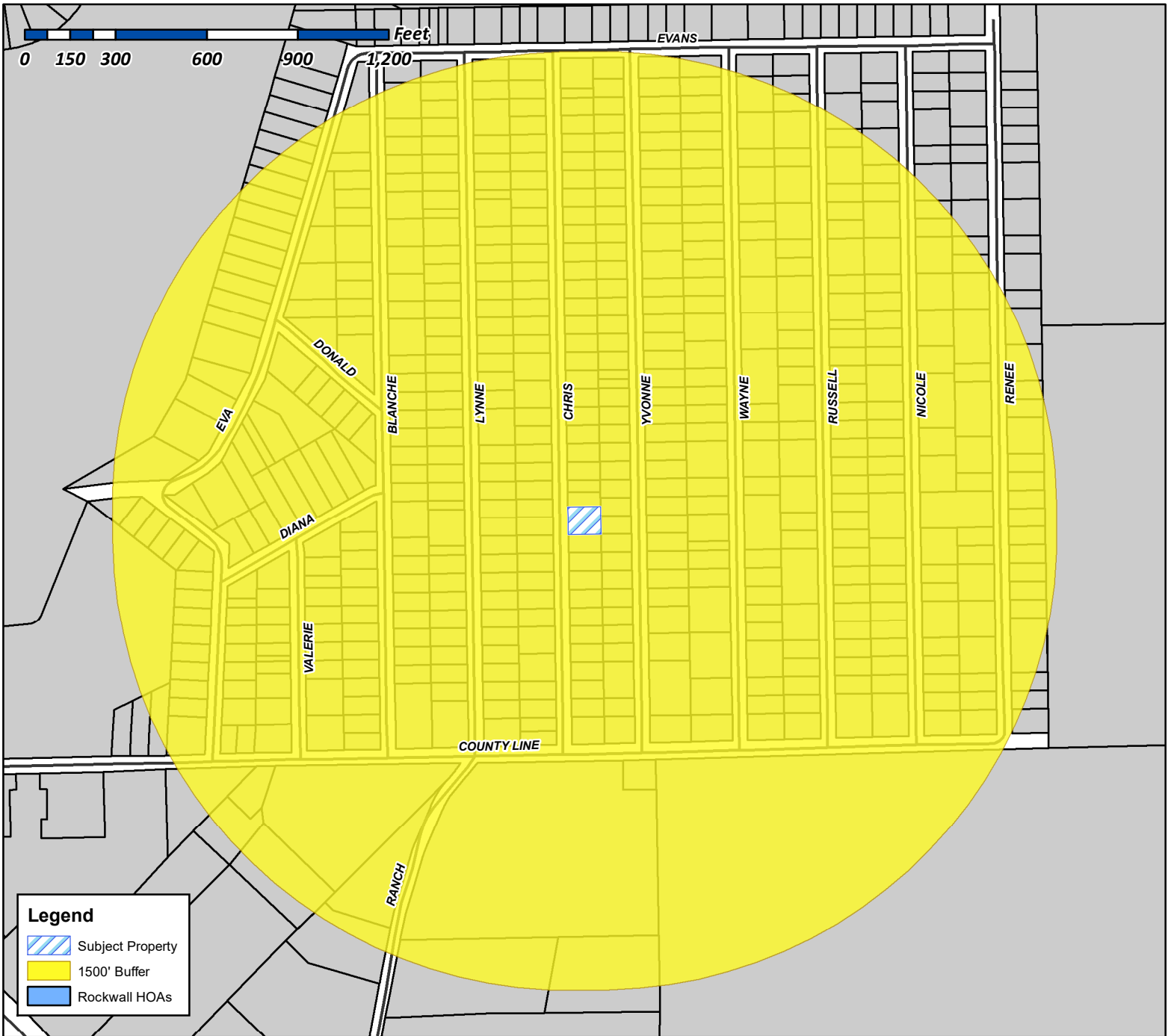




City of Rockwall

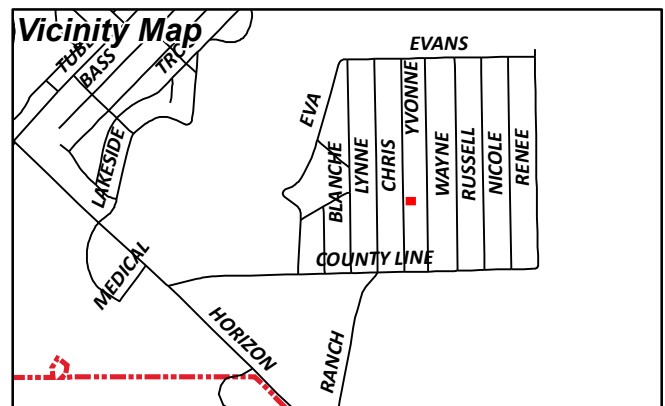
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-019
Case Name: SUP for 247 Chris Drive
Case Type: Specific Use Permit
Zoning: Planned Development 75 (PD-75)
 District
Case Address: 247 Chris Drive

Date Created: 5/18/2020
 For Questions on this Case Call (972) 771-7745





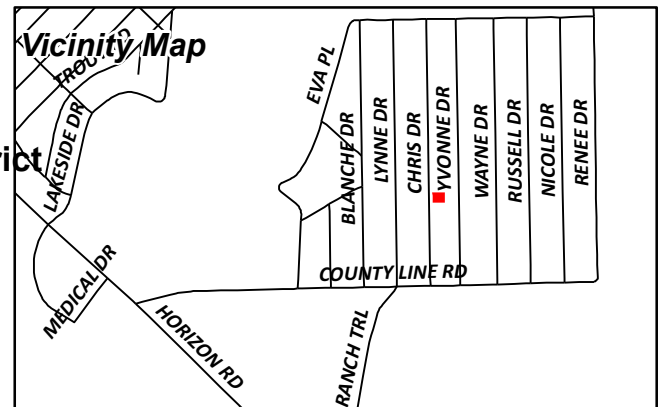
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2020-019
Case Name: SUP for 247 Chris Drive
Case Type: Specific Use Permit
Zoning: Planned Development-75 (PD-75) District
Case Address: 247 Chris Drive



Date Created: 5/18/2020
 For Questions on this Case Call (972) 771-7745

GONZALES JOSE & INES
1059 LOCAL VISTA DR
DALLAS, TX 75217

PEREZ GILBERTO AND
JUANITA PEREZ
112 LYNNE DR
ROCKWALL, TX 75032

GAMBOA SOCORRO
114 W RIDGEWOOD DR
GARLAND, TX 75041

NAVA ANA L
1167 SMITH ACRES DR
ROYSE CITY, TX 75189

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX 75169

CURRENT RESIDENT
135 CHRIS
ROCKWALL, TX 75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX 75032

GUEVARA JOSE
140 OVERBROOK DR
ROCKWALL, TX 75032

HOLGUIN CECILIA
140 YVONNE DRIVE
ROCKWALL, TX 75032

JONES CHARLES WILLARD
141 YVONNE DR
ROCKWALL, TX 75032

TONG VINCENT HIEU AND
TIFFANY PHU
1414 BUFFALO WOODS CT
KATY, TX 77494

BETETA RUTH E
1452 GREENBROOK DR
ROCKWALL, TX 75032

ALMARAZ JUAN V DIAZ
147 CHRIS LANE
ROCKWALL, TX 75032

CURRENT RESIDENT
150 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
157 LYNNE
ROCKWALL, TX 75032

RODRIGUEZ YUNIOR ARROYO
158 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
159 CHRIS
ROCKWALL, TX 75032

ZAVALA HUMBERTO & IMELDA
160 YVONNE DR
ROCKWALL, TX 75032

OSORNIO EDUARDO
163 EASTRIDGE DR
ROYSE CITY, TX 75189

HERNANDEZ JOSE O AND MIRIAM G SALAZAR
AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX 75032

MARTINEZ JOSE G
165 YVONNE DR
ROCKWALL, TX 75032

LOREDO SUSANA
166 CHRIS DR
ROCKWALL, TX 75032

CHEPETLA ANTHONY
167 LYNNE DRIVE
ROCKWALL, TX 75032

CARRILLO JORGE
173 CHRIS DR
ROCKWALL, TX 75032

PALACIOS ARIEL
178 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
179 LYNNE
ROCKWALL, TX 75032

JIMENEZ ALMA RODRIGUEZ
181 CHRIS DR
ROCKWALL, TX 75032

YANEZ FERNANDO AND
JUAN A YANEZ
183 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
186 CHRIS
ROCKWALL, TX 75032

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX 75032

SANCHEZ ALEJANDRO &
KARLA CAMACHO
190 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
192 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
193 CHRIS
ROCKWALL, TX 75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
196 CHRIS
ROCKWALL, TX 75032

RAMIREZ RUBEN & MARTHA
200 CHAMBERLAIN DR
FATE, TX 75189

YANEZ JUAN
201 YVONNE DR
ROCKWALL, TX 75032

BALDERAS JOSE G
2027 MIDLAKE LN
ROCKWALL, TX 75032

CURRENT RESIDENT
203 CHRIS
ROCKWALL, TX 75032

WILSON JAMES F & ROBERTA B J
203 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
204 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
204 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
204 WAYNE
ROCKWALL, TX 75032

MEDINA MARIA V AND
MARITZA ALONSO
204 YVONNE
ROCKWALL, TX 75032

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
210 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
211 WAYNE
ROCKWALL, TX 75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX 75032

PEREZ GILBERTO
212 LYNNE DR
ROCKWALL, TX 75032

BALDERAS LEANDRO & LAURA
213 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
215 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
215 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
216 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
216 WAYNE
ROCKWALL, TX 75032

OSORNIO KEVIN
220 CRAWFORD LANE
ROYSE CITY, TX 75189

CARMONA JOEL
221 NICOLE DR
ROCKWALL, TX 75032

MAZARIEGOS ROMULO AND ESTELA
224 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
225 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
226 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
227 WAYNE
ROCKWALL, TX 75032

KENDALL LEAH T
227 YVONNE DR
ROCKWALL, TX 75032

GUTIERREZ JOSE G & ANGELA A
229 BLANCHE DR
ROCKWALL, TX 75032

YANEZ MARIA TERESA AND
MARIA DEL ROSARIO YANEZ
230 CHRIS DRIVE
ROCKWALL, TX 75032

CURRENT RESIDENT
230 LYNNE
ROCKWALL, TX 75032

PEREZ FERMIN &
YOLANDA GUEVARA
230 LYNNE DR
ROCKWALL, TX 75032

HERNANDEZ GUILLERMINA
231 CHRIS DRIVE
ROCKWALL, TX 75032

CARMONA MARTIN SALVADOR
235 LYNNE DR
ROCKWALL, TX 75032

RAMIREZ MARTHA E
235 LYNNE DRIVE
ROCKWALL, TX 75032

CURRENT RESIDENT
236 WAYNE
ROCKWALL, TX 75032

RAMIREZ MELESIO
236 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
237 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
238 LYNNE
ROCKWALL, TX 75032

MARTINEZ RUTH A
2418 HILLGLENN RD
DALLAS, TX 75228

CURRENT RESIDENT
242 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
247 BLANCHE
ROCKWALL, TX 75032

GUARDIOLA GUADALUPE J
247 CHRIS DR
ROCKWALL, TX 75032

SMITH ROY
248 WAYNE DR
ROCKWALL, TX 75032

LINDOP N A JR
248 WAYNE DR
ROCKWALL, TX 75032

CARMONA EVELIA
249 LYNNE DR
ROCKWALL, TX 75032

GARCIA ERIK URBINA AND ISABEL GONZALEZ
249 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
250 YVONNE
ROCKWALL, TX 75032

CERVANTES LUIS & ELSA
251 WAYNE DR
ROCKWALL, TX 75032

MARTINEZ CARLOS ALONZO
252 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
254 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
259 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
259 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
260 CHRIS
ROCKWALL, TX 75032

DODSON CHARLES & GLENDA
260 YVONNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
262 CHRIS
ROCKWALL, TX 75032

SALAZAR-CARMONA MIRIAM GUADALUPE
263 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
264 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
265 BLANCHE
ROCKWALL, TX 75032

CURRENT RESIDENT
266 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
267 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
271 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
273 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
274 CHRIS
ROCKWALL, TX 75032

GUEVARA ELIAS
274 EASTRIDGE DR
ROYSE CITY, TX 75189

LINDOP JOYCE ANN
274 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
274 YVONNE
ROCKWALL, TX 75032

MORENO LUCINA ALONSO DE AND RICARDO
MORENO OSORNIA
275 CHRIS DR
ROCKWALL, TX 75032

ESPARZA MARCO & ANGELICA
275 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
276 LYNNE
ROCKWALL, TX 75032

CROWDER DAVID
281 BLANCHE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
281 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
283 LYNNE
ROCKWALL, TX 75032

RICO ANTONIO
286 YVONNE DR
ROCKWALL, TX 75032

SLEDGE PATTI RENE
287 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
288 LYNNE
ROCKWALL, TX 75032

CHAPELA AARON JAIME
292 CHRIS
ROCKWALL, TX 75032

QUEVEDO OSCAR F
293 YVONNE
ROCKWALL, TX 75032

CARMONA BLANCA CECILIA &
JESUS SANCHEZ
293 YVONNE DR
ROCKWALL, TX 75032

GARCIA RICARDO
298 WAYNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
298 YVONNE
ROCKWALL, TX 75032

GREER RICHARD & MARLENE
299 CHRIS DR
ROCKWALL, TX 75032

RODRIGUEZ ANTONIO & LAURA
301 LYNNE DR
ROCKWALL, TX 75032

CURRENT RESIDENT
302 LYNNE
ROCKWALL, TX 75032

RANGEL JORGE MIGUEL
302 S GOLIAD
ROCKWALL, TX 75087

MACIEL JENNIFER E
303 WAYNE DR
ROCKWALL, TX 75032

CONTRERAS JOSE AND CANDELARIA
304 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
307 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
308 YVONNE
ROCKWALL, TX 75032

CURRENT RESIDENT
309 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
310 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
312 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
314 WAYNE
ROCKWALL, TX 75032

CURRENT RESIDENT
315 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
316 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
318 YVONNE
ROCKWALL, TX 75032

CASTANEDA LUCERO ADILENE AND ALFREDO
TORRES
321 YVONNE DR
ROCKWALL, TX 75032

HERNANDEZ YERICA V CARRIZALES
326 WAYNE
ROCKWALL, TX 75032

ROSAS ALEXANDRA
327 CHRIS DR
ROCKWALL, TX 75032

PADRON CELSA
328 CHRIS DR
ROCKWALL, TX 75032

CURRENT RESIDENT
330 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
331 YVONNE
ROCKWALL, TX 75032

CHAVEZ IGNACIO
333 LYNNE DR
ROCKWALL, TX 75032

GODINEZ INOCENTE AND
CORDELIA ESPERANZA MONROY TUMIN
334 YVONNE DR
ROCKWALL, TX 75032

JIMENEZ JOSE LUIS GARCIA AND
BERNARDA AGUILAR LEDEZMA
337 CHRIS DRIVE
ROCKWALL, TX 75032

RUBIO LORENA & ALEJANDRO
3371 STATE HIGHWAY 276
ROCKWALL, TX 75032

SOSA LORENA
338 WAYNE DR
ROCKWALL, TX 75032

MOLINA MARLIN J & JAIME
340 YVONNE DR
ROCKWALL, TX 75032

SAAVEDRA SILVIA
343 YVONNE DR
ROCKWALL, TX 75032

GUADARRAMA TARCICIO &
MARIA M NAJERA
346 YVONNE DR
ROCKWALL, TX 75032

DIAZ JUAN
347 LYNNE
ROCKWALL, TX 75032

CURRENT RESIDENT
348 CHRIS
ROCKWALL, TX 75032

CURRENT RESIDENT
349 YVONNE
ROCKWALL, TX 75032

MORENO SALVADOR &
ANA MARGARITA RODRIGUEZ
352 LYNNE DR
ROCKWALL, TX 75032

DIAZ FRANCISCO & MANUELA
352 WAYNE DR
ROCKWALL, TX 75032

CONTRERAS JOSE LUIS
353 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS JUANA
353 CHRIS DR
ROCKWALL, TX 75032

CONTRERAS JOSE L
353 CHRIS DR
ROCKWALL, TX 75032

FORTUNA FRANCISCO & LUISA
354 YVONNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO
365 LYNNE DR
ROCKWALL, TX 75032

PALACIOS PEDRO & MARIA E
365 LYNNE DR
ROCKWALL, TX 75032

MEZA FRANCISCO J AND YOLANDA S
3778 PR 3843
QUINLAN, TX 75474

VELASQUEZ JORGE
543 BASS RD
ROCKWALL, TX 75032

RANGEL JUAN
554 WILLOW RIDGE CIR
ROCKWALL, TX 75032

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO 80403

REYES MARIA ISABEL AND RAMIRO M
603 S CREEK DR
ROYSE CITY, TX 75189

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX 75089

HERNANDEZ FIDEL ESPINO
9233 WHISKERS RD
QUINLAN, TX 75474



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-019: SUP for Residential Infill for 247 Chris Drive

Hold a public hearing to discuss and consider a request by J. W. Jones for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.33-acre parcel of land identified as a portion of Lot 1050 and all of Lot 1051, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 6/9/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 6/15/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

Your comments must be received by **6/15/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-019: SUP for Residential Infill 247 Chris Drive

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

Grey bar for entering the respondent's name.

Address:

Grey bar for entering the respondent's address.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-019: SUP for Residential Infill 247 Chris Drive

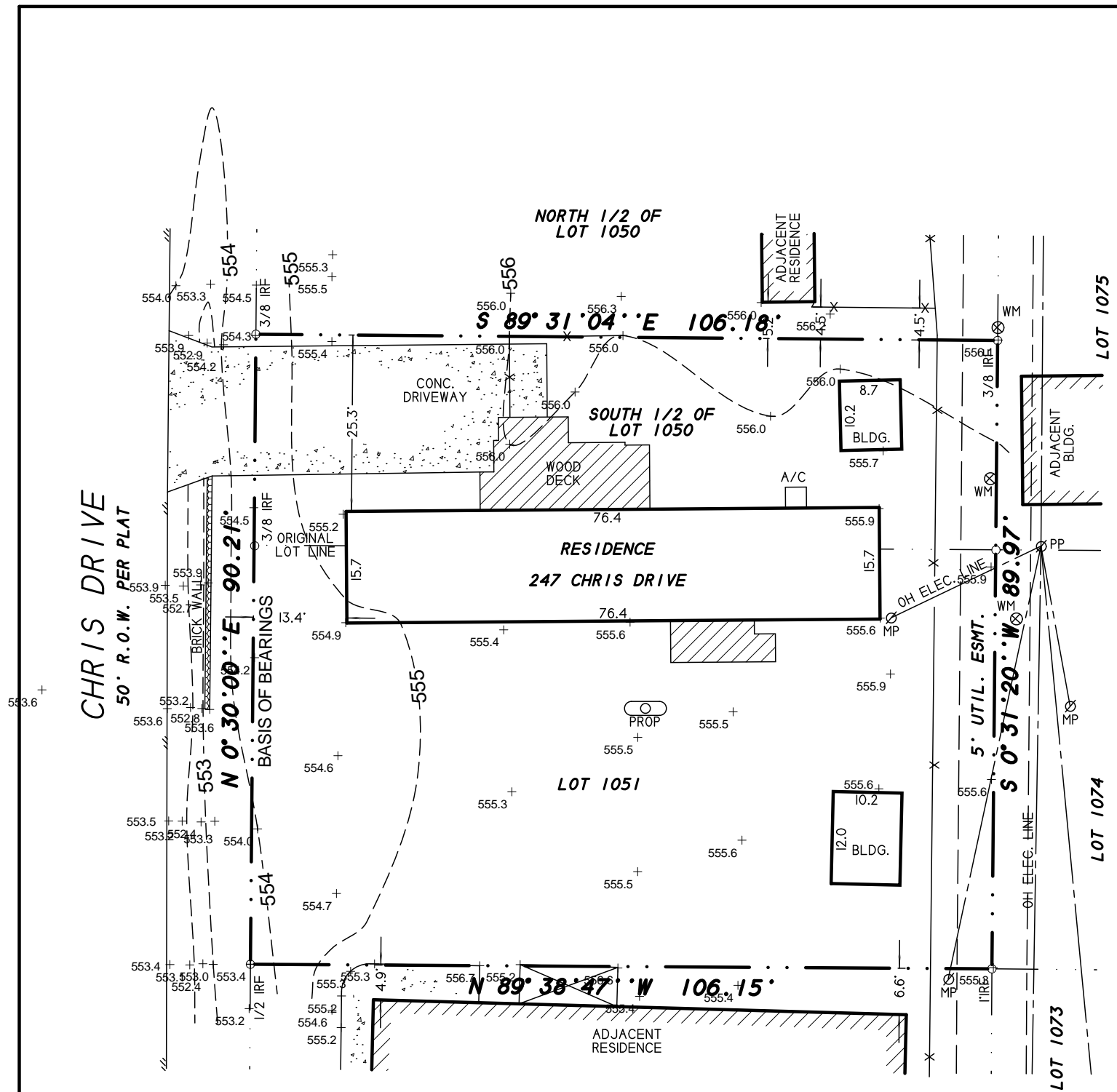
Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: jennifer maciel
Address: 303 Wayne Drive Rockwall TX 75082

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



TOPOGRAPHIC SURVEY

DESCRIPTION

BEING the south 1/2 of Lot 1050 and all of Lot 1051, of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2, an Addition to the City of ROCKWALL, ROCKWALL County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, of the Plat Records of ROCKWALL County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040 L dated September 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Jay Jones at 247 Chris Drive, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 16th day of September, 2019.

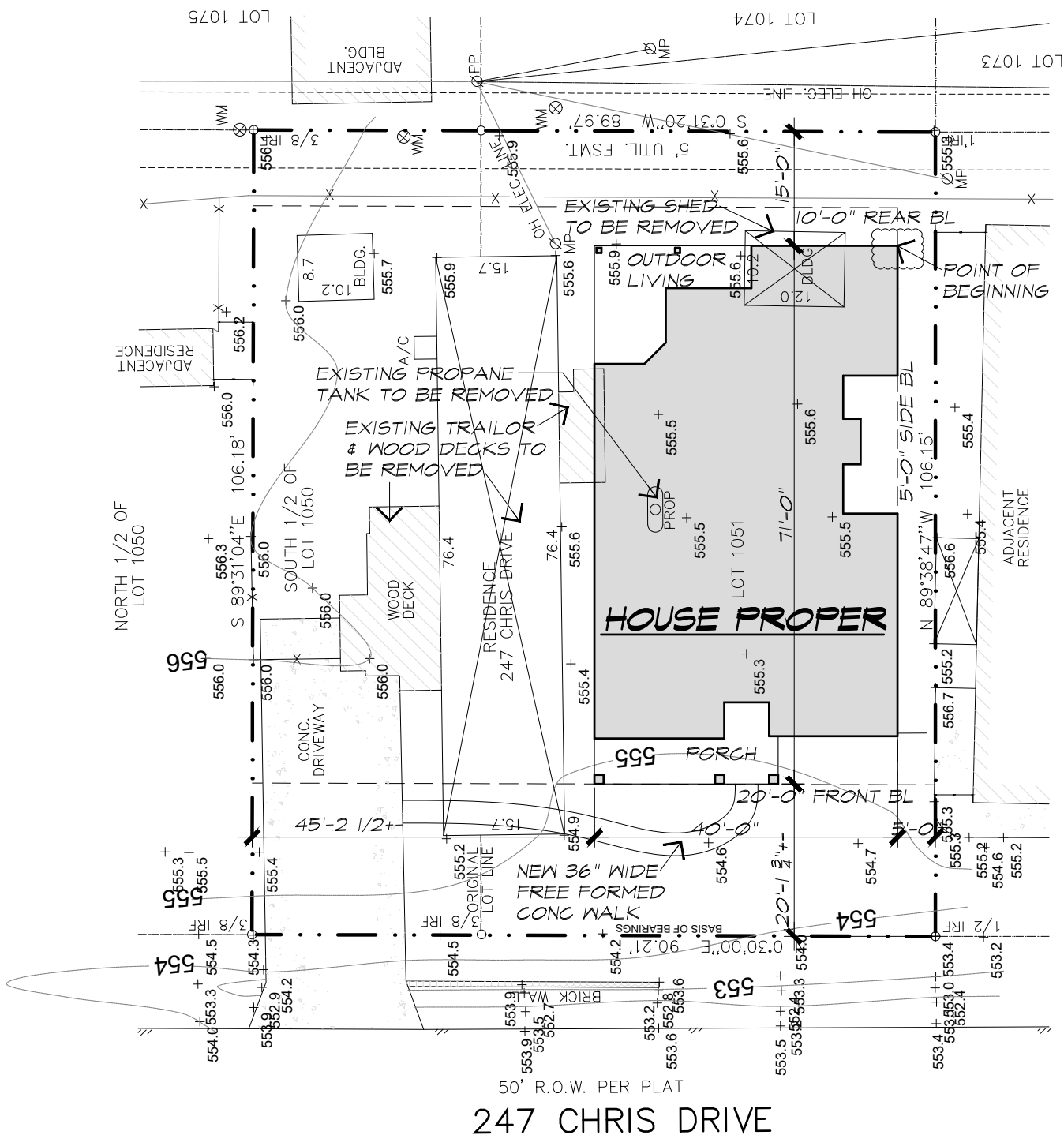
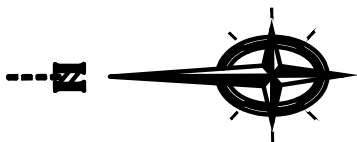
[Signature]
 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND					
Ⓣ	Ⓜ	☎	Ⓜ	Ⓜ	Ⓜ
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	POWER POLE	1/2" IRF IRON ROD FOUND (CORNER)
Ⓜ	Ⓜ	Ⓜ	Ⓜ	Ⓜ	Ⓜ
ELEC. METER	ELEC. BOX	WM. METER	LP LIGHT POLE	A/C UNIT	PROP. TANK
---	---	---	---	---	---
FENCE	EASEMENT LINE	PROPERTY LINES			

SURVEY DATE	SEPTEMBER 16, 2019
SCALE	1" = 20'
CLIENT	JONES
FILE #	20100500
GF #	NONE

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com



NOTE:
EXISTING ITEMS NOT NOTED
TO BE REMOVED ARE TO
REMAIN

LOT AREA = 9563.87 SF
LOT COVERAGE = 27.44%

PLAN # PG 2244
DATE: 12/20/2019

SITE PLAN

SCALE: 1" = 20'-0"

M. Rouse Designs

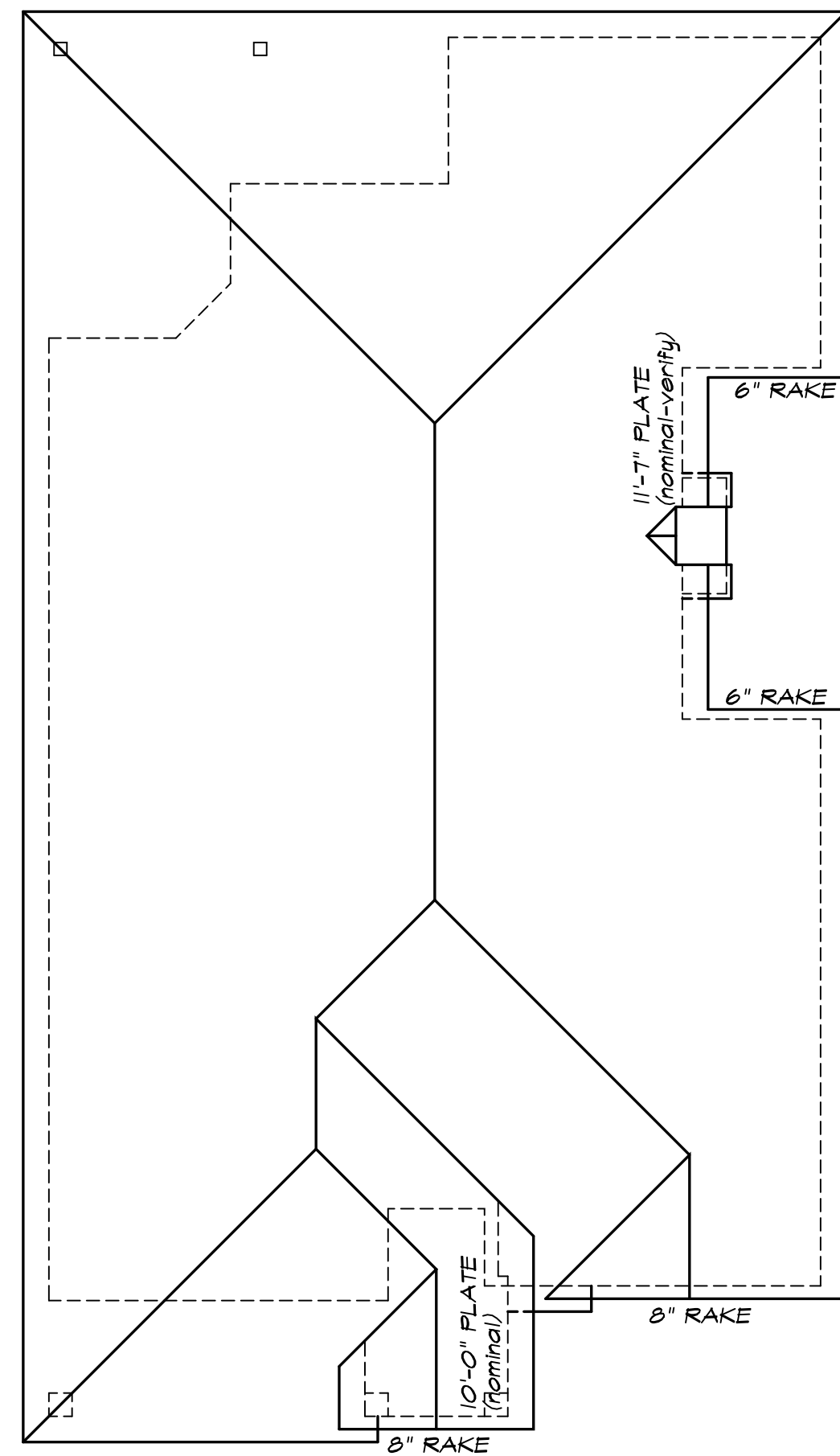
2307 HIGH RIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrousedesigns.com

"WHERE DESIGN EXCELLENCE BEGINS"

COPYRIGHT 2019 - M. Rouse Designs - ALL RIGHTS RESERVED

1/2 OF LOT 1050 & ALL OF LOT 1051
ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2
ROCKWALL, TEXAS

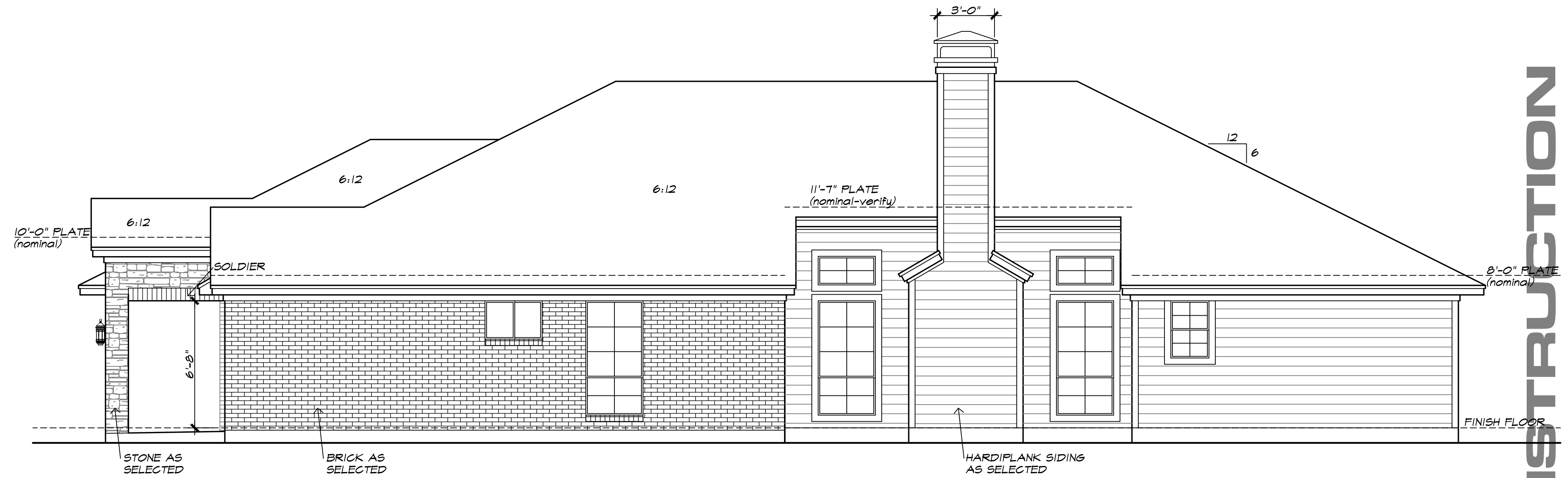
PRIOR TO ANY CONSTRUCTION, BUILDER, CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS., PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.



ROOF PLAN

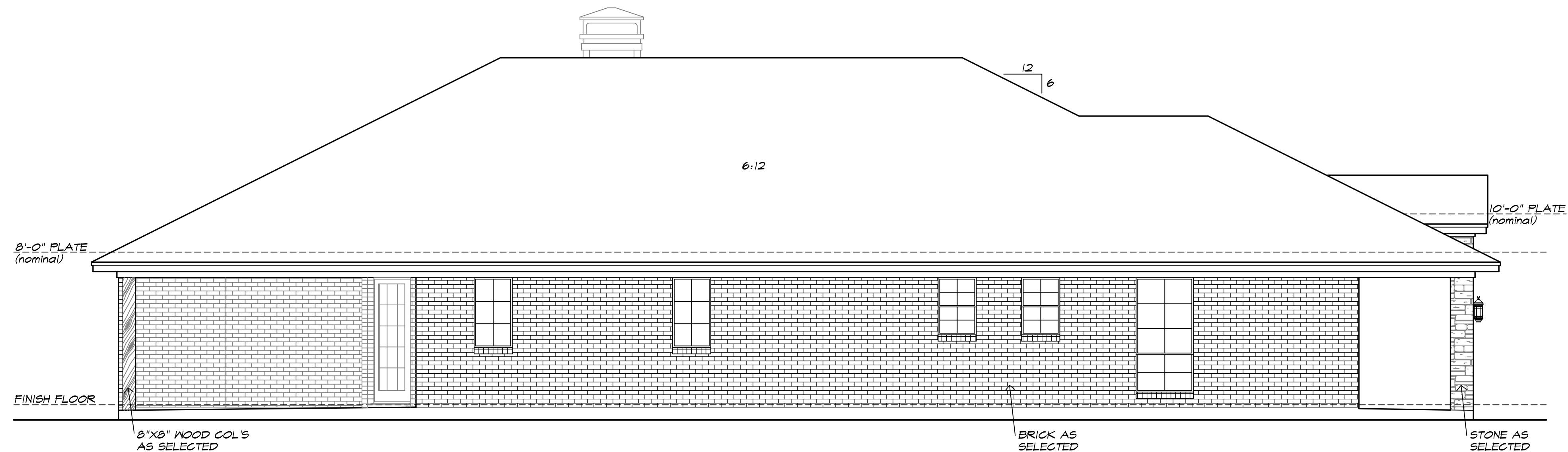
SCALE 1/8"=1'-0"

- * ROOF AS SPECIFIED @ 6:12
- * SCREENED CORNICE VENTS AS PER CODE
- * ATTIC VENTILATION AS PER CODE & AS SELECTED
- * GUTTERS & DOWNSPOUTS STYLE & LOCATIONS AS PER OWNER BUILDER AGREEMENT
- * 8'-0" PLATE (NOMINAL) UNLESS NOTED



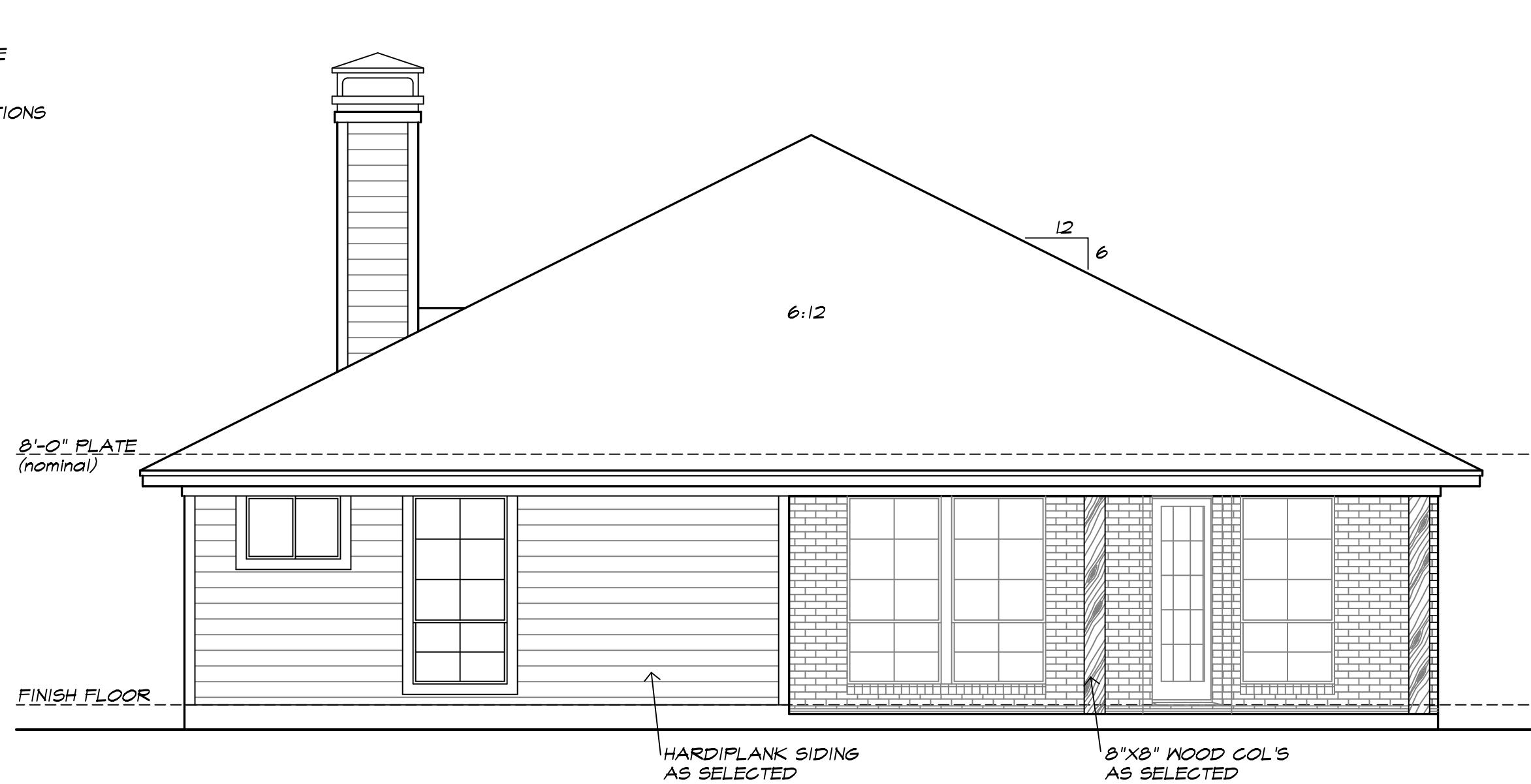
RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"



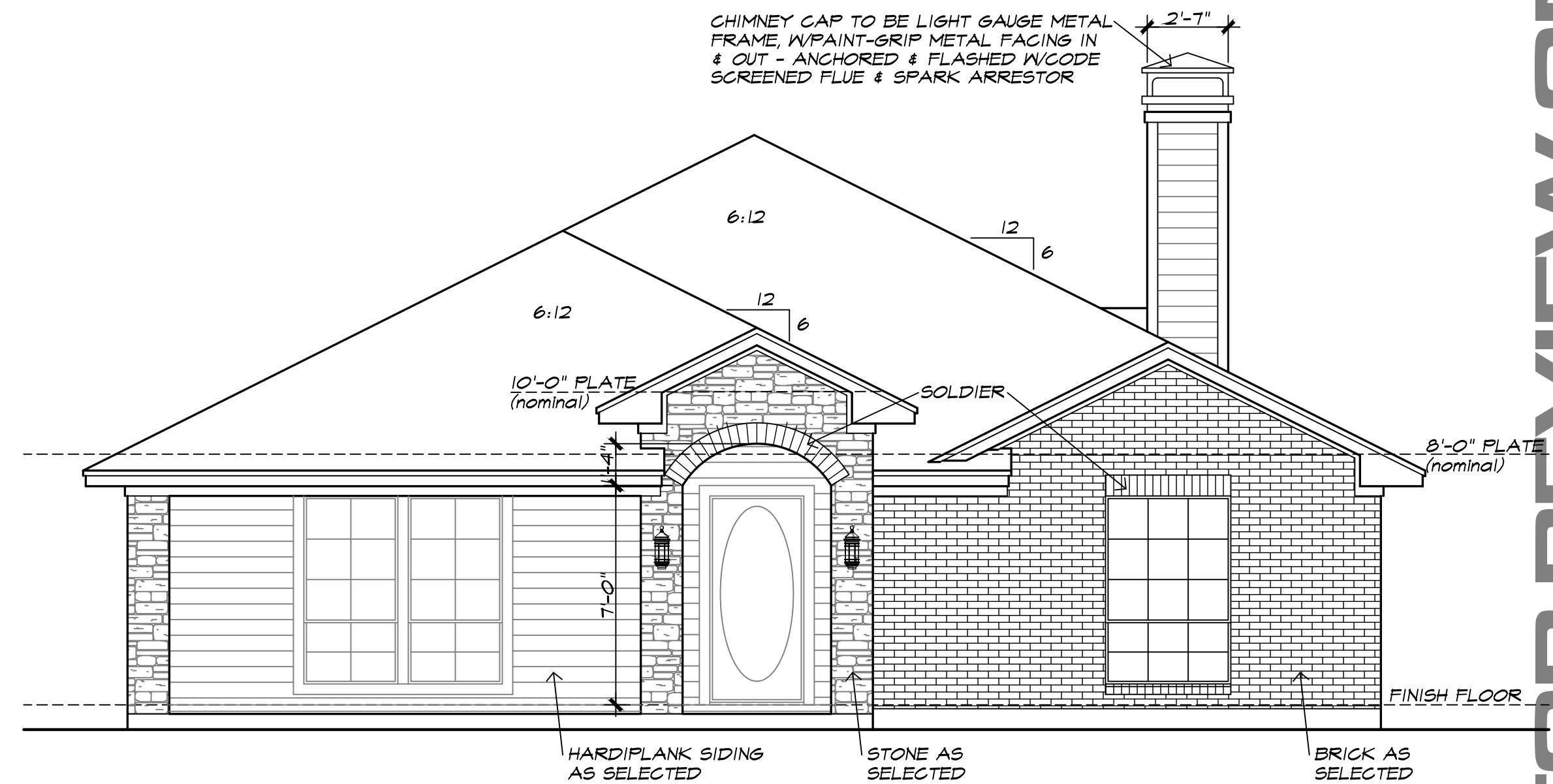
LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"



REAR ELEVATION

SCALE 1/4"=1'-0"



FRONT ELEVATION

SCALE 1/4"=1'-0"

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

**A CUSTOM RESIDENCE
FOR THE
GUARDIOLA FAMILY
ROCKWALL, TEXAS**

M Rouse Designs

2307 HIGHLIDGE
SACHSE, TEXAS 75048
(214) 801-9944
mrouse@designs.com

TRADE DESIGN BY MROUSE DESIGNS. ALL RIGHTS RESERVED.
COPYRIGHT 2019 - MROUSE DESIGNS

REVISED DATE
12/20/2019

SHEET
A2

DESIGN NUMBER
PG 2244

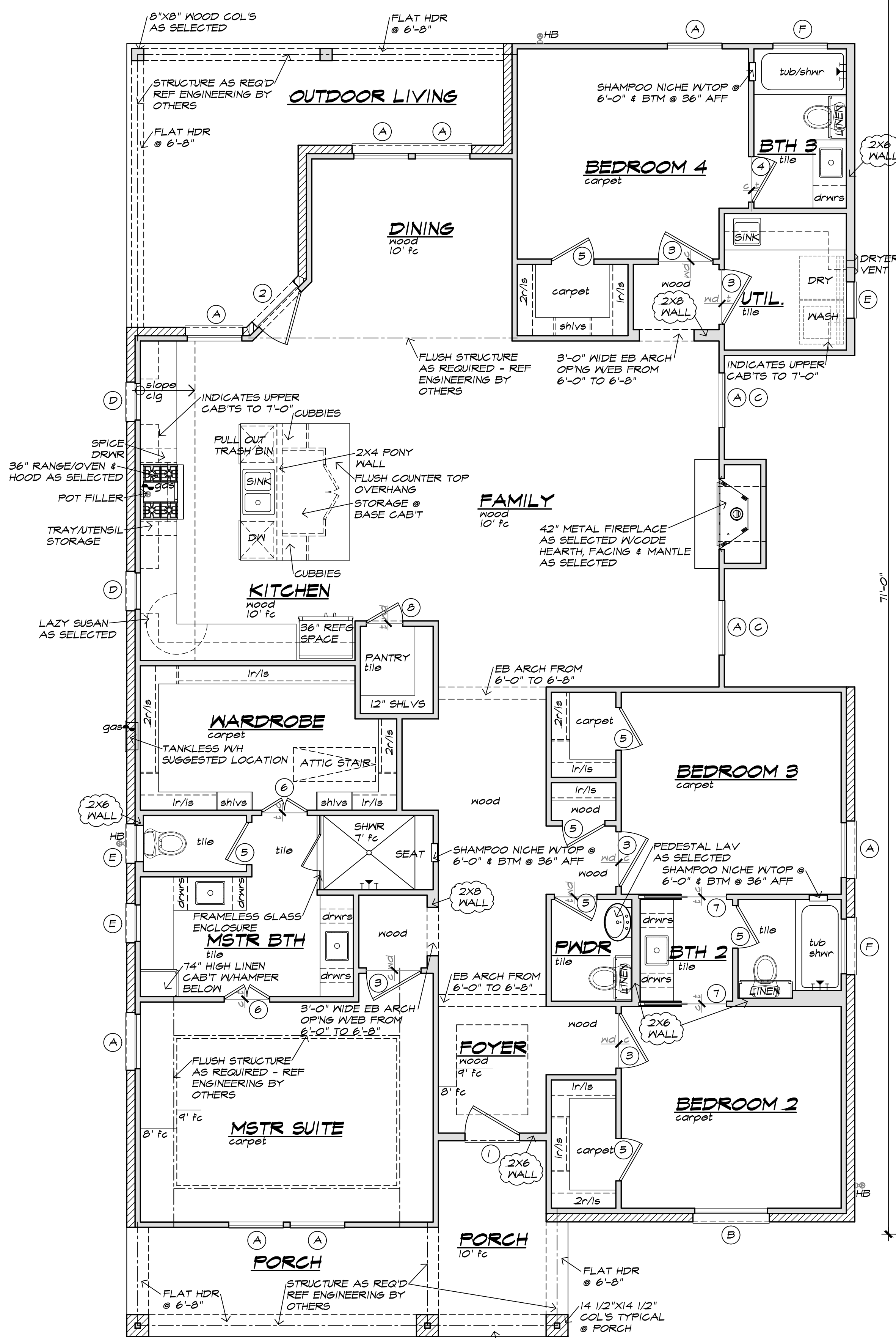
The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall not be held responsible for any discrepancies, and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor shall they be construed as a contract. The contractor shall be responsible to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of any member(s) hereof, and furthermore, recommends that these construction documents be reviewed by a qualified professional engineer.

DOOR SCHEDULE				WINDOW SCHEDULE			
TYPE	SIZE	DESCRIPTION	#	TYPE	SIZE	DESCRIPTION	#
1	STEEL ENTRY UNIT	3'-0" X 6'-8"	1	A	SINGLE HUNG	3'-0" X 6'-0"	10
2	SOLID CORE	3'-0" X 6'-8"	1	B	SINGLE HUNG	4'-0" X 6'-0"	1
3	SOLID CORE	3'-0" X 6'-8"	5	C	FIXED	3'-0" X 1'-6"	2
4	SOLID CORE	2'-6" X 6'-8"	1	D	FIXED	2'-0" X 3'-8"	2
5	SOLID CORE	2'-4" X 6'-8"	6	E	SINGLE HUNG	2'-0" X 3'-0"	3
6	SOLID CORE	PR 1'-3" X 6'-8"	2	F	HORIZ SLDR	3'-0" X 2'-0"	2
7	SOLID CORE	2'-6" X 6'-8"	2				
8	SOLID CORE	2'-0" X 6'-8"	1				

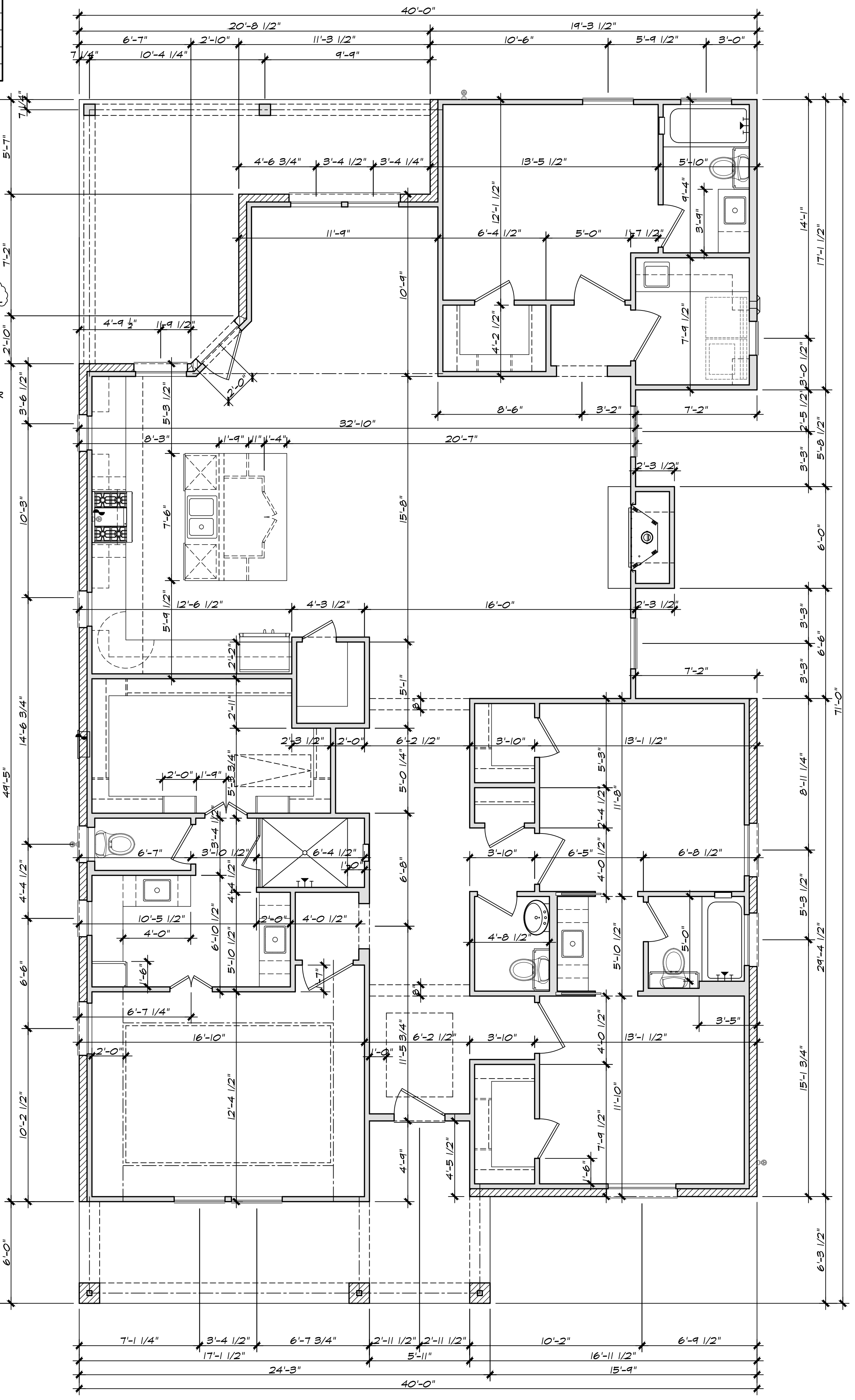
GENERAL NOTES (WHERE APPLICABLE)

- All exterior walls to be 2x4, 2x6, 2x8, or other as noted, @16" O.C. w/ 1/2" plywood sheathing w/ water vapor barrier, unless noted otherwise. (Blocked @ Midspan) & as per code.
- Interior walls, 2x4 @ 16" O.C., unless noted otherwise. (Blocked @ Midspan), all plumbing walls to be 2x6.
- All metal fireplaces to be top of the line double lined (min.) code units as per mfg. (W/gas logs optional).
- All fireplaces to have tile, marble, or brick hearths & facing, as per builder, as selected by owner.
- All shelving to be 3/4" V-grooving supported at edges & on, 4" O.C. (Bookshelves to have hidden "Ribbon" lighting optional).
- All closets to have at least one single rod & two shelves, unless noted otherwise. W/mad to top hardware. Most to have 2 rods, 2 shelves or more as per builder.
- All exterior doors, garage, and attic doors to be weather stripped.
- All baths, utility, water heater, & pony walls to have full insulation. (Garage common walls and ceiling, when living space above).
- Kitchen counter tops to be formica, granite or stone w/ turned edges as selected. Kitchen cabinets to have compound hinges, edged shelves, solid panels, "Blum" type guides, special hardware, under counter lighting, all sinks w/dispensers, down-draft cooktop (w/6 optional burners & grill) as selected. Refrigerator to have water supply w/out-off. All plugs to be GFI. (As required by code).
- Stairs to have optional step lights as selected, continuous handrails w/ 1/2" grip & 36" high, 1" nosing w/ 4" clear spacing. Swardrails to be 42" high.
- All bath vanities to be marble or stone (optional porcelain bowls). Verify heights from 32" to 36". All drawers and cabinet shelves to be lined. (Verify with builder).
- All doors to have flanges and drawer, caulked, lined, waterproofed & vented for moisture. (Medicine cabinets as selected).
- Ridges and valleys are to be braced down to proper support, through to foundation support.
- Ridges and valleys over 12" to be 2x12, unless noted otherwise. Ends to be cut to frame out w/rafter. (See builder/engineer).
- All ceiling corners at main rooms to have molding. (Verify mtdg. code).
- Windows to be wood or metal, double pane insulated, shown in nominal sizes, w/extra caulking & head flashing where required. (See builder).
- Window sills & casing to be wood or drywall.
- All main drywall corners to have Bull-Nose (optional).
- Connect gutters and downspouts to an underground drainage piping system. (Verify w/owner and builder/engineer).
- All brick arches & designs w/reinforcing, & w/Type "S" mortar.
- Brick columns to have treated wood post insulator, shown in nominal sizes, w/extra caulking & head flashing where required. (See builder).
- All yard hydrants to be freeze proofed.
- Provide high "R" ratings for all attic floors & walls. (optional).
- All gas appliances to have code vents.
- All water piping, condensate drains, water heaters or storage in the attic to be freeze proofed and insulated. Attic water heaters to have metal pans w/drain.
- A/C ducts should be routed around most usable attic space.
- Dryer vents to be outside.
- Colling joists to be sized for 3/4" plywood flooring in attic as directed by builder. Stud wall support below must be sized for proper support.
- Radiant barriers are optional.
- Uniform cornice vents @ entire perimeter, screened w/insulation baffled for air flow.
- Thermostatically controlled roof vents as per mfg's recommendations, to be low rise & color coded to roof materials.
- Framing members shown are suggested minimal. Engineering design takes priority over these schematic drawings. (See builder).
- All long span ceilings to be stripped 2" O.C. w/1x4 leveling. (optional).
- All rafter spans to be braced 12" O.C. maximum. (see eng.).
- All ridges and beam connections to have metal clips & nailing. (see eng.).

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies and/or omissions. The contractor shall be responsible for the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies and/or omissions. These construction documents are intended for general construction purposes only and are not exhaustive. The contractor shall be responsible for the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies and/or omissions. The contractor shall be responsible for the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies and/or omissions.



NOTATION PLAN
SCALE 1/4"=1'-0"



DIMENSION PLAN
SCALE 1/4"=1'-0"

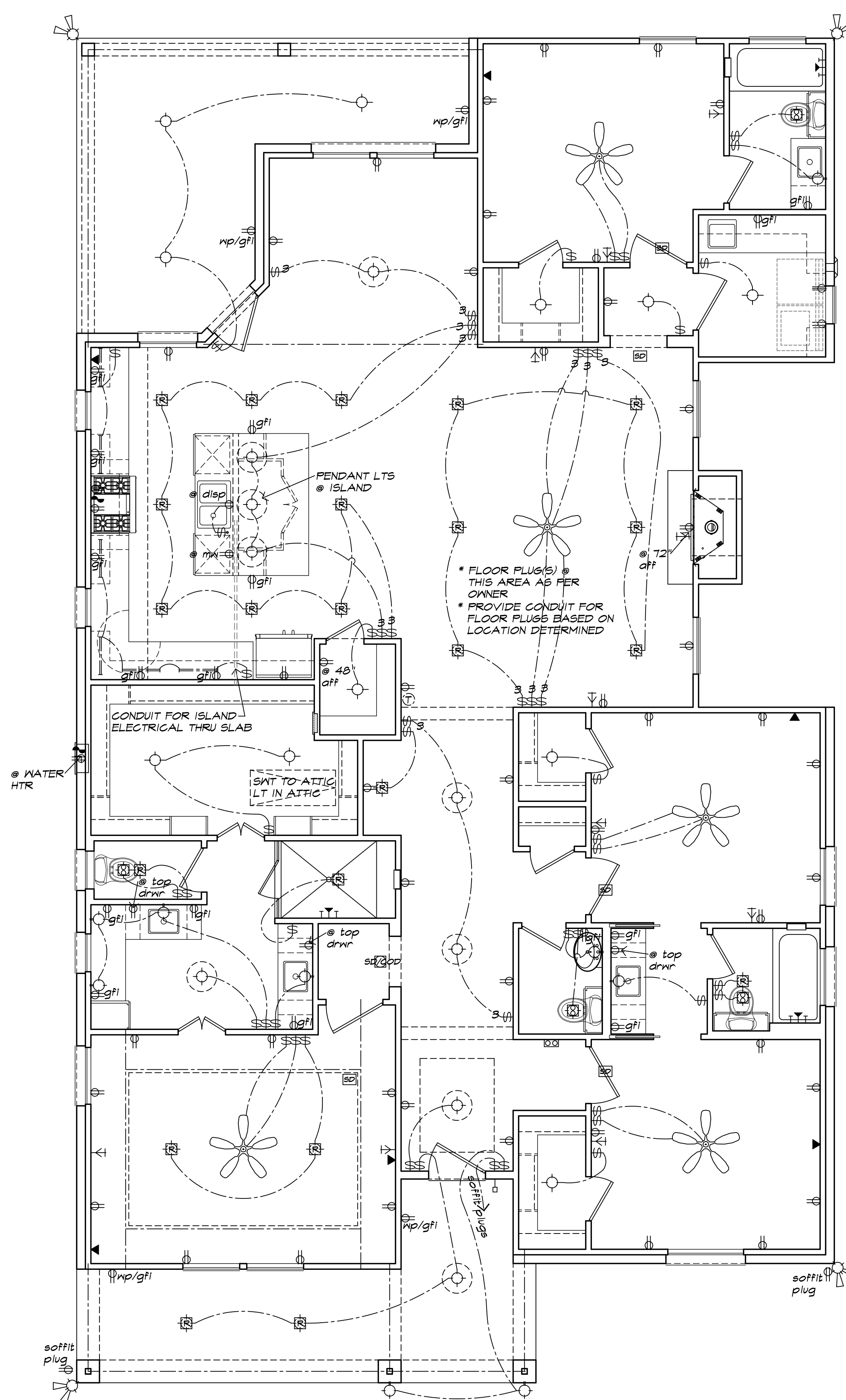
AREAS	
TOTAL LIVING (AG)	2244.56 SQ. FT.
PORCH	178.98 SQ. FT.
OUTDOOR LIVING	205.79 SQ. FT.
TOTAL COVERAGE	2624.33 SQ. FT.

- GENERAL NOTES:**
- ALL FINISHED CEILING @ 8'-0" AFF UNLESS NOTED
 - ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
 - ALL 45° & 45° UNLESS NOTED OTHERWISE
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION & SHALL NOTIFY DESIGNER IF ANY DISCREPANCIES ARE FOUND
 - ALL PLATE LINES AS NOTED ON ELEVATIONS
 - ALL WINDOW HEADERS AS NOTED
 - WATER HEATER TO BE TANKLESS TYPE AS REQUIRED & PLACED WHERE BEST SUITED
 - ALL INTERIOR FINISHES TO BE AS SELECTED UNLESS NOTED
 - ALL VANITIES TO BE 36" HIGH
- INDOOR AIR QUALITY MEASURES**
- AIR FILTERS MUST BE INSTALLED WITH A (MERV) VALUE EQUAL TO OR GREATER THAN 8
 - AIR HANDLERS INSTALLED WILL BE ABLE TO MAINTAIN ADEQUATE AIR PRESSURE & AIR FLOW
 - AIR FILTER WILL BE AIRTIGHT TO PREVENT BYPASS OR LEAKAGE
 - EXTERIOR DOORS TO HAVE PROPER WEATHER STRIPPING

A CUSTOM RESIDENCE FOR THE GUARDIOLA FAMILY ROCKWALL, TEXAS

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 SACHSE, TEXAS 75048
 (214) 801-9944
 mrowesdesign.com
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REVISED	DATE
	12/20/2019
SHEET	A1
DESIGN NUMBER	PG 2244



LIGHTING & ELECTRICAL LEGEND

▼	LANDLINE - OPTIONAL
⏏	SWITCH
⊙	6"Ø RECESSED LIGHT UNLESS NOTED
⊙	RECESSED EXHAUST FAN
⊙	SURFACE MOUNTED WALL LIGHT
⊙	HANGING LIGHT
⊙	DUPLEX RECEPTACLE
⊙	220 RECEPTACLE
⊙	DUPLEX WEATHER PROOFED GROUND GROUND FAULT INTERRUPTER
⊙	DUPLEX GROUND FAULT INTERRUPTER
⊙	TV OUTLET (CAT 6)
⊙	SMOKE DETECTOR
⊙	PUSH BUTTON TO CHIME
⊙	DOOR CHIME
⊙	DOUBLE FLOOD LIGHT ASSEMBLY ON MOTION SENSOR
⊙	CEILING FAN w/LIGHT KIT UNLESS NOTED
⊙	SMOKE/CARBON MONOXIDE DETECTOR
⊙	THERMOSTAT
⊙	PUSH/AIR GARBAGE DISPOSAL SWITCH
⊙	SURFACE LIGHT
⊙	D-MARK DATA CONNECTION POINT
⊙	UNDER/OVER CABINET FLUORESCENT LIGHT

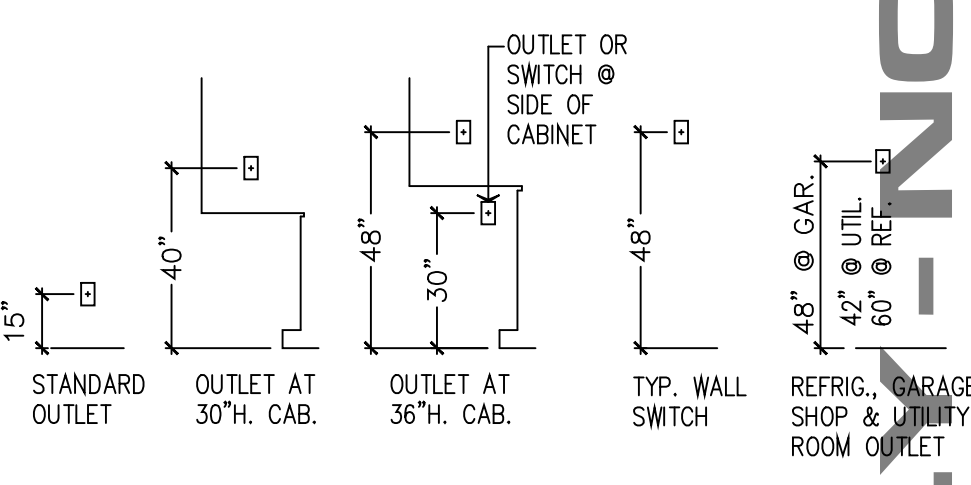
NOTE
 * ALL FIXTURES NOTED IN THIS LEGEND MAY BE MULTIPLE & ARE TO BE AS PER OWNER/BUILDER AGREEMENT

ELECTRICAL NOTES

(where applicable)

THIS ELECTRICAL LAYOUT IS SCHEMATIC ONLY! VERIFY ALL ELECTRICAL REQUIREMENTS, INCLUDING ENGINEERING AND CODE, SMOKE DETECTORS, EXTERIOR/POOL, COAX, DEDICATED LINES, INTERCOM/SECURITY, TV/MUSIC, ACCENT, LOW VOLTAGE, MASTER CONTROLS, COMPUTER INTERFACING, AND ALL SELECTIONS OF TYPE, SIZE, AND STYLE OF FIXTURES.

* ALL LANDSCAPING LIGHTING & JUNCTION BOX LOCATIONS TO BE BY OTHERS & AS PER OWNER BUILDER AGREEMENT
 * CARRIAGE LTS TO BE @ 6'-0" AFF
 * SEE OWNER FOR ATTIC LIGHTING & PREFERRED PLACEMENT



LIGHTING & ELECTRICAL PLAN

SCALE 1/4"=1'-0"

NOTE:
 FINAL SELECTION & PLACEMENT OF ALL INTERIOR & EXTERIOR LIGHTING & ELECTRICAL AS PER BUILDER/OWNER AGREEMENT

FOR REVIEW ONLY - NOT FOR CONSTRUCTION

**A CUSTOM RESIDENCE
 FOR THE
 GUARDIOLA FAMILY
 ROCKWALL, TEXAS**

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REVISED DATE
 12/20/2019

SHEET
 A3

DESIGN NUMBER
 PG 2244

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these construction documents and shall not be responsible for any discrepancies, and/or the revision/correction of these construction documents. These construction documents are intended for general construction purposes only and are not exhaustively detailed nor shall the contractor be held responsible to select, verify, resolve, and install all equipment and materials and to control the quality thereof. All work performed on this project shall meet or exceed the current edition of the applicable International Building Code and all applicable state and local codes. It is the responsibility of the general contractor to provide any engineering necessary to the stability of member(s) work, and furthermore, recommends that these construction documents be reviewed by a qualified professional engineer.

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL AND PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [*ORDINANCE NO. 16-01*], ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.33-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF LOT 1051 AND ALL OF LOT 1050, ROCKWALL LAKE ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from J. W. Jones for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.33-acre parcel of land being described as a portion of Lot 1051 and all of Lot 1050, Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] and Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.02, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] and to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] -- *as heretofore amended and may be amended in the future* -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JULY, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 15, 2020

2nd Reading: July 6, 2020

Exhibit 'A'
Location Map and Survey

Address: 247 Chris Drive

Legal Description: A Portion of Lot 1051 and all of Lot 1050, Rockwall Lake Estates #2

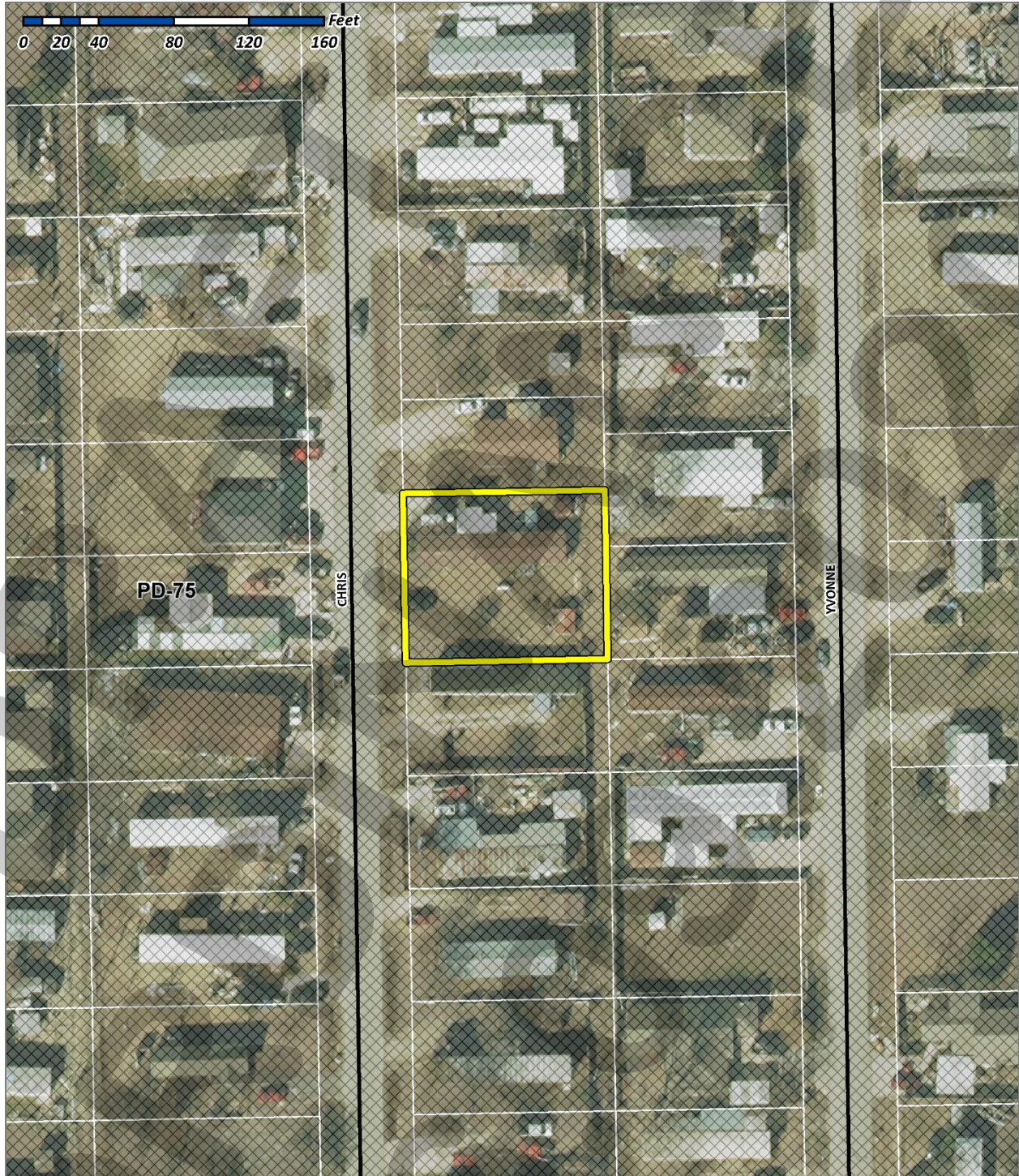
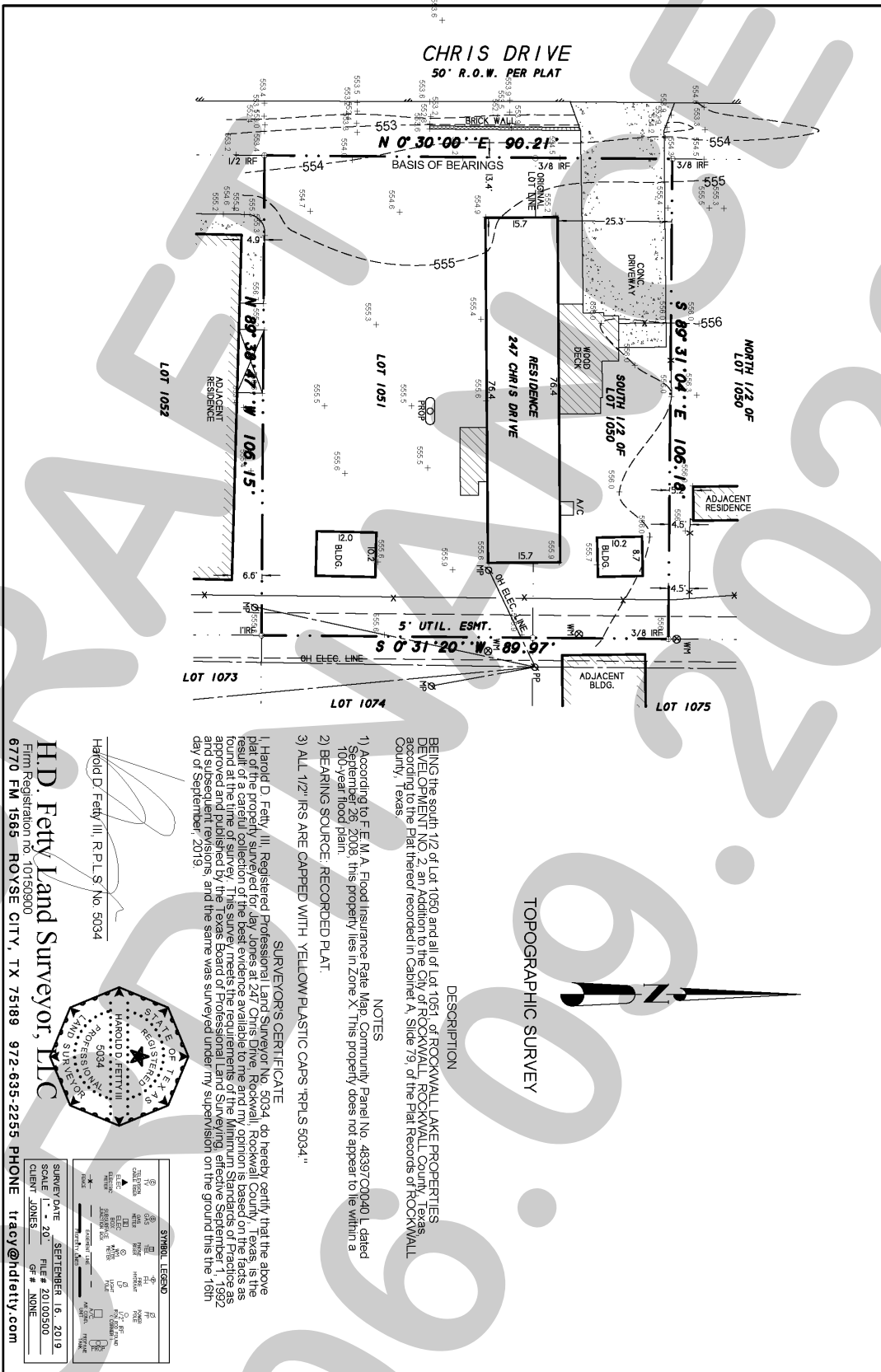


Exhibit 'A'
Location Map and Survey



TOPOGRAPHIC SURVEY

DESCRIPTION

BEING the south 1/2 of Lot 1050 and all of Lot 1051 of ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2 an Addition to the City of ROCKWALL, ROCKWALL County, Texas, according to the Plat thereof recorded in Cabinet A, Slide 79, of the Plat Records of ROCKWALL County, Texas.

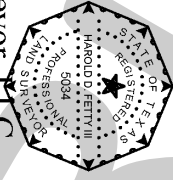
NOTES

- 1) According to E.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0040, Dated September 29, 2008 this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034"

SURVEYOR'S CERTIFICATE

I, Harold D. Fety III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Jay Jones at 247 Chris Drive, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as adopted and published by the Texas Board of Professional Land Surveying effective September 11, 1992 and was supervised by me and the same was surveyed under my supervision on the ground this the 16th day of September, 2019.

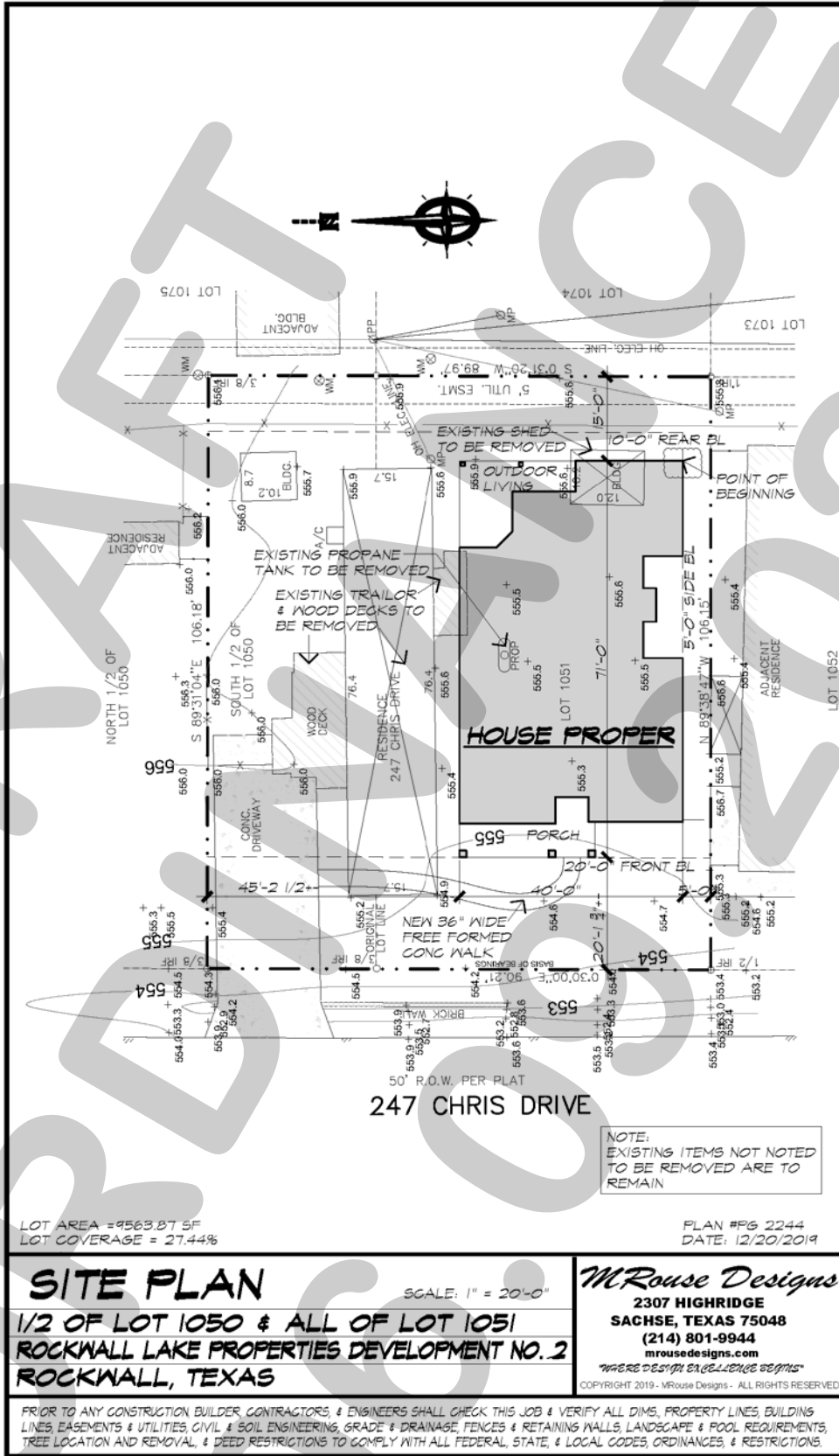
Harold D. Fety III, R.P.L.S. No. 5034



H.D. Fety Land Surveyor, LLC
Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE taey@hdfety.com

SYMBOL LEGEND	
	Survey Station
	Easement
	Boundary Line
	Property Line
	Right-of-Way
	Utility Easement
	Fenced Area
	Existing Structure
	Proposed Structure
	Proposed Addition
	Proposed Deletion
	Proposed Easement
	Proposed Right-of-Way
	Proposed Fenced Area
	Proposed Existing Structure
	Proposed Proposed Structure
	Proposed Proposed Addition
	Proposed Proposed Deletion
	Proposed Proposed Easement
	Proposed Proposed Right-of-Way
	Proposed Proposed Fenced Area
	Proposed Proposed Existing Structure
	Proposed Proposed Proposed Structure

**Exhibit 'B':
Residential Plot Plan**



SITE PLAN SCALE: 1" = 20'-0"
1/2 OF LOT 1050 & ALL OF LOT 1051
ROCKWALL LAKE PROPERTIES DEVELOPMENT NO. 2
ROCKWALL, TEXAS

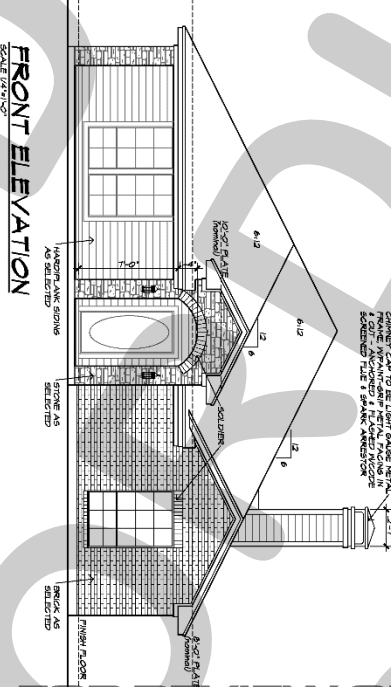
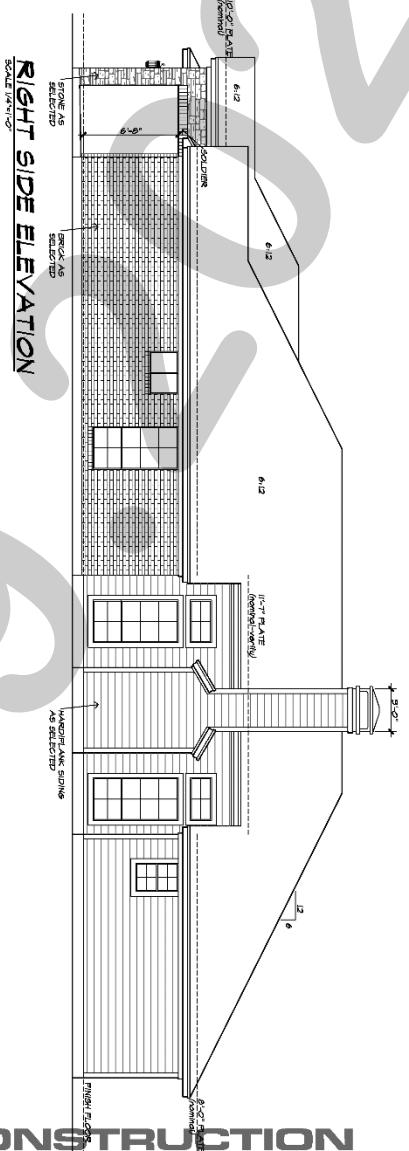
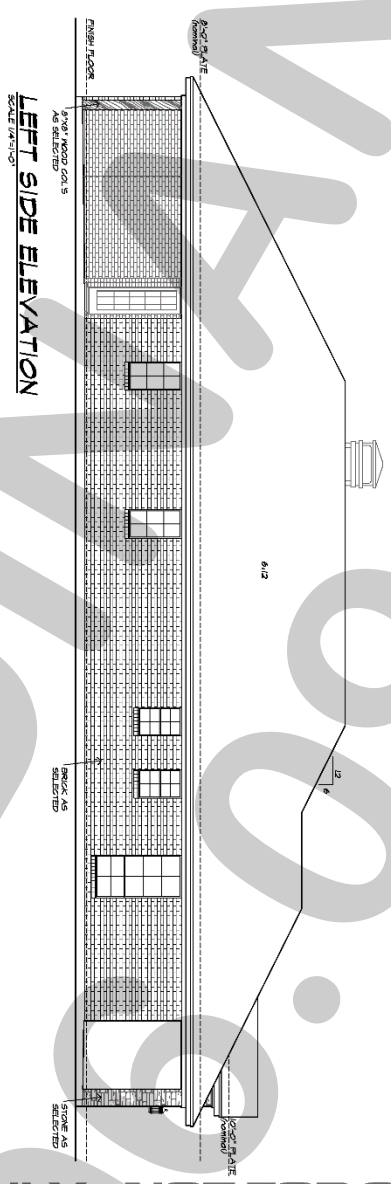
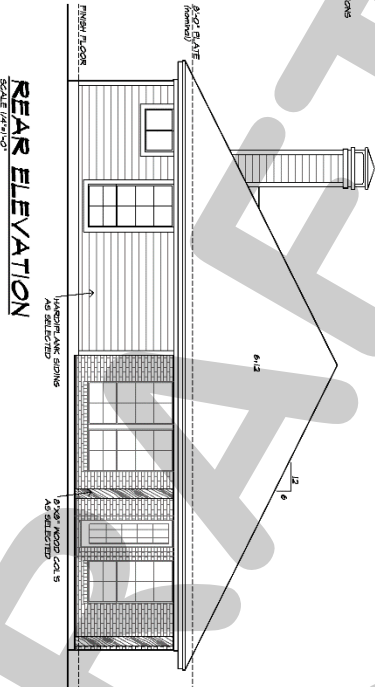
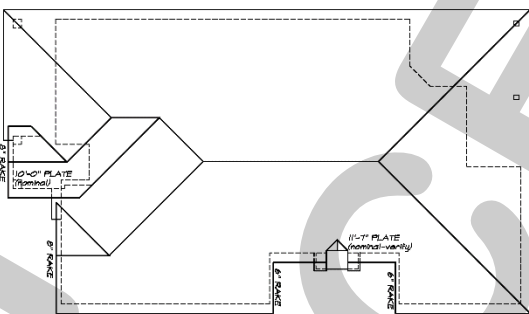
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 SACHSE, TEXAS 75048
 (214) 801-9944
 mrousedesigns.com
 WHERE DESIGN EXCELLENCE BEGINS®
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PRIOR TO ANY CONSTRUCTION BUILDER CONTRACTORS, & ENGINEERS SHALL CHECK THIS JOB & VERIFY ALL DIMS, PROPERTY LINES, BUILDING LINES, EASEMENTS & UTILITIES, CIVIL & SOIL ENGINEERING, GRADE & DRAINAGE, FENCES & RETAINING WALLS, LANDSCAPE & POOL REQUIREMENTS, TREE LOCATION AND REMOVAL, & DEED RESTRICTIONS TO COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & RESTRICTIONS.

Exhibit 'C': Building Elevations

ROOF PLAN
SCALE 1/8"=1'-0"

- ROOF AS SHOWN & 6:12 AS PER CODE
- ROOFING MATERIAL AS PER CODE
- ALL DIMENSIONS AS PER CODE & AS SHOWN
- MATERIALS, FINISHES & LOCATIONS AS PER CODE
- 2'-0" RAINFALL (NORMAL LABORS NOTED)



FOR REVIEW ONLY - NOT FOR CONSTRUCTION



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: June 9, 2020

APPLICANT: Brian Bader

CASE NUMBER: Z2020-020; *Specific Use Permit for a Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport at 1308 Ridge Road*

SUMMARY

Hold a public hearing to discuss and consider a request by Brian Bader on behalf of Victoria Kaprantzas for the approval of a Specific Use Permit (SUP) for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport on a 0.81-acre tract of land identified as Tract 27 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1308 Ridge Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on June 20, 1959 by *Ordinance No. 59-02*. According to the City's historic zoning maps, the subject property was zoned Single-Family 2 (SF-2) District as of January 3, 1972. As of May 16, 1983, this designation had been changed to Single-Family 10 (SF-10) District. According to the Rockwall Central Appraisal District (RCAD), the single-family home on the subject property was constructed in 1975 and has a building footprint of ~3,276 SF (2,760 SF of Living Area). In 1978, a 1,848 SF detached garage was constructed. According to the applicant a portion of this garage was converted into a *Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit*.

Staff should note that prior to submitting this request the applicant began demolition of the existing detached garage without securing a demolition permit; however, upon staff pointing this out before the Planning and Zoning Commission Work Session Meeting, the applicant applied for and was issued a demolition permit (*BLD2020-1303*).

PURPOSE

The applicant -- *Brian Bader* -- is requesting the approval of a Specific Use Permit (SUP) for: [1] a *Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit* that exceeds more than 30% of the primary structure in conformance with Subsection 02.02(B)(6), *Guest Quarters/Secondary Living Unit*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), [2] and for a carport attached to a secondary structure that exceeds the maximum square footage permitted for carports as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1308 Ridge Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are eight (8) tracts of land (*i.e. two [2] vacant tracts of land and six [6] single-family homes*) zoned Single-Family 10 (SF-10) District. Beyond this are ten (10) tracts of land with eight (8) single-family homes that have been converted to office buildings. These properties are zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses.

South: Directly south of the subject property are two (2) vacant parcels of land (*i.e. Lots 1 & 2, Block B, Eagle Point Estates Addition*) zoned Single-Family 10 (SF-10) District. Beyond this are nine (9) single-family homes zoned

Single-Family 10 (SF-10) District. South of this is Becky Lane, which is identified as an R2 (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is Ridge Road, which is designated as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 3.802-acre parcel of land (*i.e. Lot 6, Block A, Rockwall Commons Addition*) that is currently developed with a 140-unit apartment complex (*i.e. Lakeridge Apartments*). This property is zoned Planned Development District 1 (PD-1) for multifamily land uses.

West: Directly west of the subject property is the Eagle Point Estates Subdivision, which is zoned Single-Family 10 (SF-10) District and contains 13 single-family residential lots. Also, west of the subject property is the Ridge Road Village Subdivision, which is zoned Single-Family 10 (SF-10) District and contains 185 single-family residential lots. Beyond this is the takeline for Lake Ray Hubbard, followed by the corporate limits for the City of Rockwall.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, site plan, and drawings showing the interior layout of the proposed *Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit*. Based on the site plan, a 28-foot by 21-foot (*i.e. 588 SF*) carport will be constructed on the eastern building façade of the existing 1,848 SF accessory building. Images provided by the applicant show that the carport will be architecturally integrated into the existing accessory building (*i.e. the pitched roof of the carport will be integrated into the pitched roof of the accessory building*), and will be accessible via a 12-foot wide concrete driveway that will be extended from the existing circular concrete drive in front of the primary structure. In addition, a 12-foot by 40-foot (*i.e. 480 SF*) concrete patio will be constructed adjacent to the southern building façade. The floor plan submitted by the applicant shows that the *Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit* will be contained within the existing accessory building, and that the building will not be expanded to accommodate the proposed use. In addition, according to the applicant's letter the metal R-Panel on the exterior of the existing building will be removed and replaced with HardiBoard siding.

CONFORMANCE WITH THE CITY'S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Guest Quarters/Secondary Living Unit* is permitted as an accessory use in the Single-Family 10 (SF-10) District. In addition, Subsection 02.03(B)(6), *Guest Quarters/Secondary Living Unit*, of this Article goes on to state that *Guest Quarters/Secondary Living Units* must be: [1] ancillary to a single-family home, [2] no more than 30% of the area of the primary structure, and [3] not sold or conveyed separately. *Guest Quarters/Secondary Living Units* not meeting these requirements can request a Specific Use Permit (SUP). In this case, the primary structure has a building footprint of ~3,276 SF, which would allow a maximum *Guest Quarters/Secondary Living Unit* of 982.80 SF. The proposed expansion of the existing *Guest Quarters/Secondary Living Unit* would increase the total area of this use to 1,848 SF or 865.20 SF larger than what is permitted by the UDC. Based on this the applicant is requesting a Specific Use Permit (SUP) for the size of the *Guest Quarters/Secondary Living Unit*.

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), carports are permitted to be a maximum of 500 SF and should be architecturally integrated into the primary structure. This section goes on to state that, "(a)ccessory buildings or structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)." In this case, the applicant is proposing a 588 SF carport, which is 88 SF over what is permitted by the UDC. In addition, the carport will be attached to the existing accessory building and not to the primary structure. Based on these issues, the applicant is requesting a Specific Use Permit (SUP) for the size and location of the carport.

STAFF ANALYSIS

The accessory building at the rear of the subject property was constructed in 1978 and was constructed as a detached garage and *Guest Quarters/Secondary Living Unit*. Staff does not have any information on the square footage breakdown between the *Guest Quarters/Secondary Living Unit* and the detached garage, but -- *based on the applicant* -- approximately 30% or

-554.40 SF of the existing floor area was dedicated to the *Guest Quarters/Secondary Living Unit* land use. Based on this the applicant's request represents an increase of 70% of the existing *Guest Quarters/Secondary Living Unit* area. Staff should point out that based on the estimate provided by the applicant, the structure is currently in compliance with the floor area requirement (*i.e. 30% of the primary structure*) permitted by-right within the Single-Family 10 (SF-10) District.

Article 13, *Definitions*, of the Unified Development Code (UDC), defines *Guest Quarters/Secondary Living Unit* as "(a)n accessory building designed for the temporary occupancy of guests of the primary dwelling for which there is no remuneration [*money paid for work or a service*] and is not rented or otherwise used as a separate domicile." According to the property owner's letter the purpose of converting this structure is to provide a place for their daughter to live. Based on the floor plan provided by the applicant, the *Guest Quarters/Secondary Living Unit* will consist of two (2) bedrooms, two (2) full bathrooms, a full kitchen, living room, and laundry room. In addition, the proposed carport (*which will be accessible via driveway extension off of the existing circular drive in the front of the primary structure*) will provide two (2) parking spaces for the *Guest Quarters/Secondary Living Unit*.

Staff should point out that the existing structure is located behind the front façade of the primary structure, and only has slight visibility -- *through two (2) vacant lots* -- from Ridge Road. At the rear of the subject property there is a thick tree line impairing visibility of the structure from the alleyway and the adjacent houses to the west of the subject property. In addition, the proposed carport should only add slight visibility of the roofline from Ridge Road. Staff should point out that there are two (2) other detached garages of a similar size to the existing accessory building (*i.e. at 1400 & 1404 Ridge Road*); however, there does not appear to be any other detached *Guest Quarters/Secondary Living Unit* in the area. With all this being said, the approval of a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit* and carport is a discretionary decision for the City Council, upon a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On May 27, 2020, staff mailed 48 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Waterstone Homeowner's Association (HOA), which is the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices returned concerning the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to for a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit/ Accessory Dwelling Unit* and *Carport* that exceed the maximum permissible size, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall generally conform to the concept plan, conceptual building elevations, and conceptual floor plan depicted in *Exhibits 'B', 'C' & 'D'* of the Specific Use Permit (SUP) ordinance.
 - (b) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* shall not exceed a maximum size of 1,848 SF.
 - (c) The *Carport* shall not exceed a maximum size of 588 SF.
 - (d) The subject property shall not have more than the two (2) accessory structures (*i.e. [1] guest quarters/secondary living unit/accessory dwelling unit, and [2] carport*) without amending this Specific Use Permit (SUP).
 - (e) The existing accessory building along the northern property shall be removed from the property prior to the issuance of a building permit for the *Guest Quarters/Secondary Living Unit/Accessory Dwelling* and *Carport*.

- (f) Prior to the acceptance of the *Carport* the existing driveway shall be extended to the accessory structure as depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-020

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address

1308 RIDGE ROAD

Subdivision

Lot

Block

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

Victoria Kaprantzas

Applicant

Contact Person

Victoria Kaprantzas

Contact Person

Brian Baden

Address

2748 Mira Vista Ln.

Address

20603 CR 3310

City, State & Zip

Rockwall Tx 75032

City, State & Zip

Quinton Tx

Phone

214 228-7055

Phone

214 868-0943

E-Mail

ewiagrk@hotmail.com

E-Mail

bbaden@cityofmesquite.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared VICTORIA KAPRANTZAS [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 15 day of MAY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

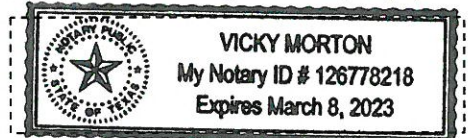
Given under my hand and seal of office on this the 15 day of MAY, 20 2020

Owner's Signature

Victoria Kaprantzas

Notary Public in and for the State of Texas

Vicky Morton



My Commission Expires



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

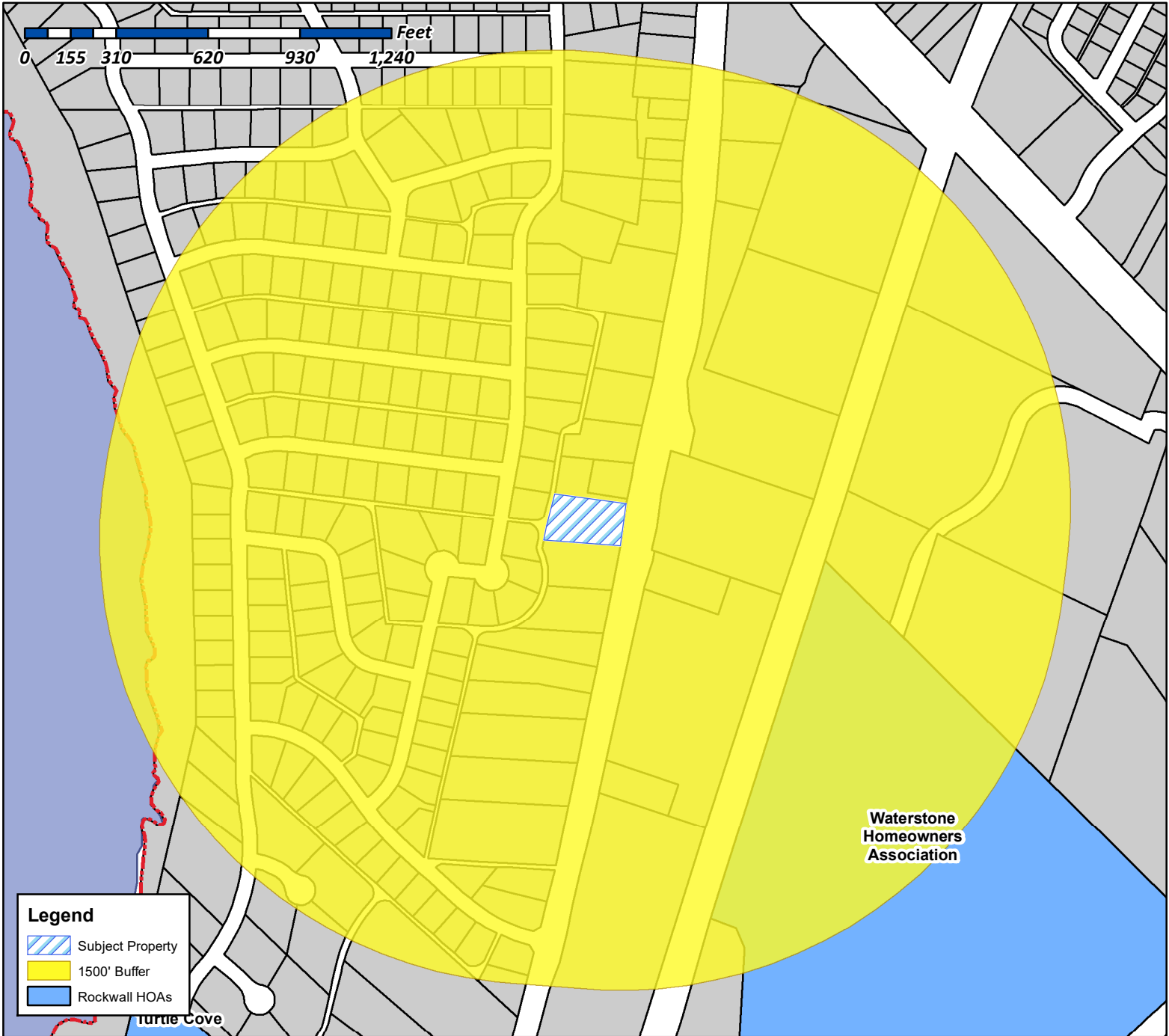




City of Rockwall

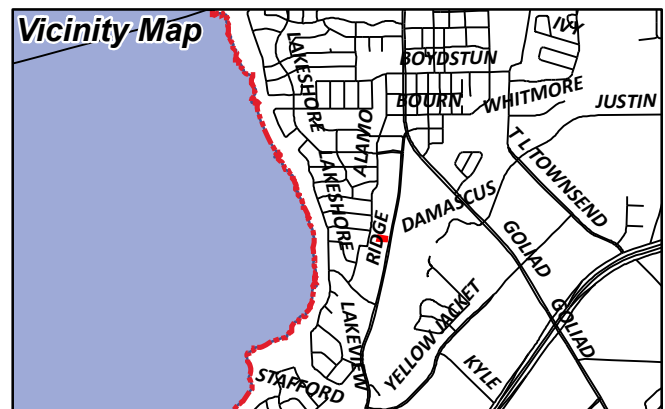
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-020
Case Name: SUP for 1308 Ridge Road
Case Type: Specific Use Permit
Zoning: Single-Family 10 (SF-10) District
Case Address: 1308 Ridge Road

Date Created: 5/18/2020
 For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#)
Subject: Neighborhood Notification Program
Date: Wednesday, May 20, 2020 11:44:54 AM
Attachments: [HOA Map \(05.18.2020\).pdf](#)
[PUBLIC NOTICE.PDF](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [May 29, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, June 9, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, June 15, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-020 SUP for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport for 1308 Ridge Road

Hold a public hearing to discuss and consider a request by Brian Bader on behalf of Victoria Kaprantzas for the approval of a [Specific Use Permit \(SUP\)](#) for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport on a 0.81-acre tract of land identified as Tract 27 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1308 Ridge Road, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

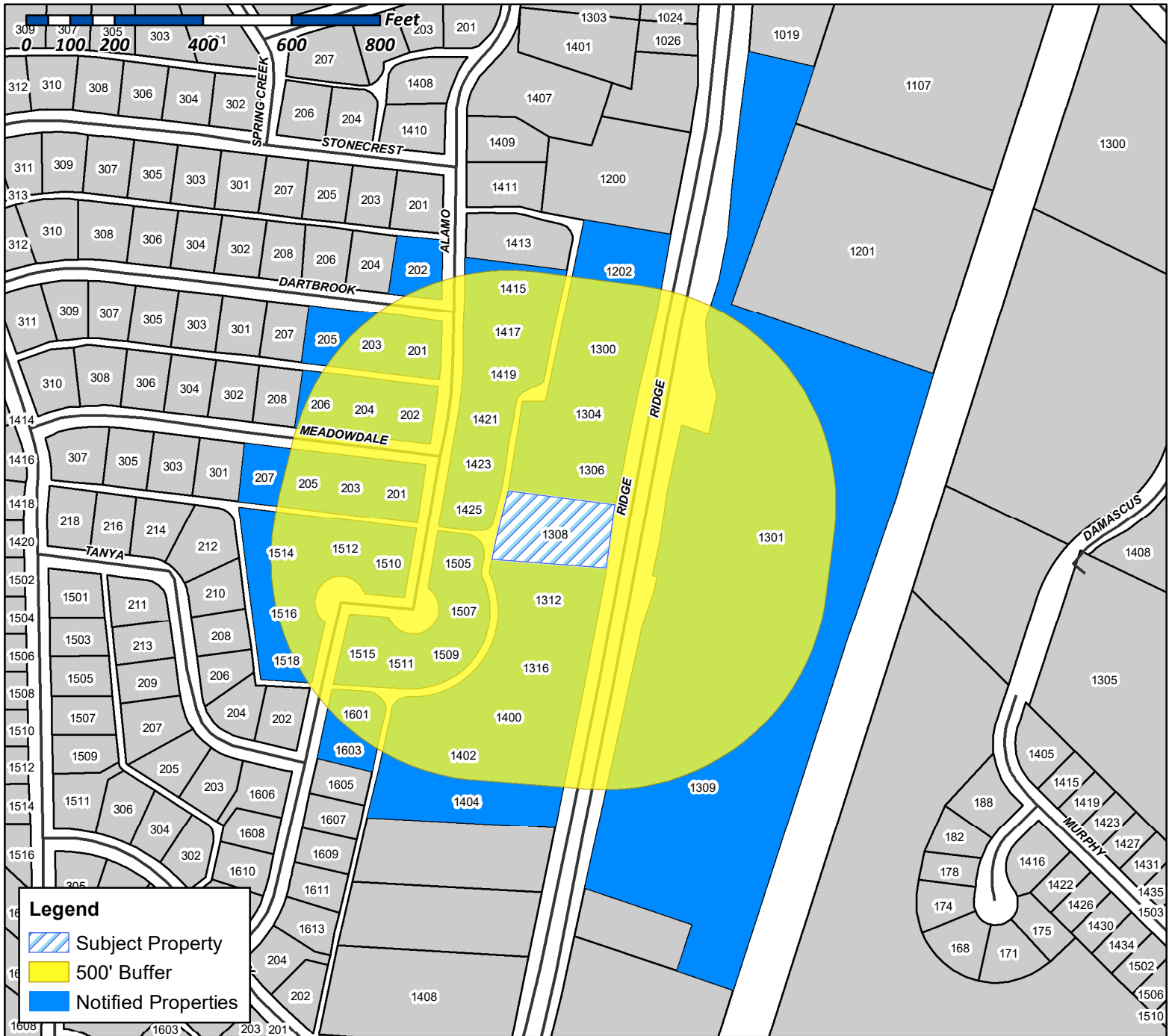
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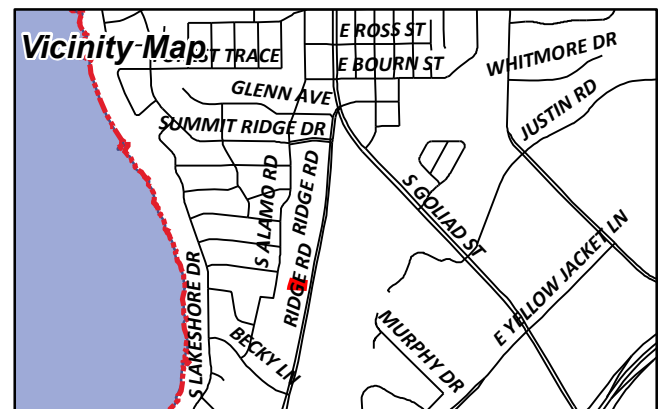
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-020
Case Name: SUP for 1308 Ridge Road
Case Type: Specific Use Permit
Zoning: Single-Family 10 (SF-10) District
Case Address: 1308 Ridge Road



Date Created: 5/18/2020
For Questions on this Case Call (972) 771-7745

VICMAR I LTD &
E LOFLAND
105 KAUFMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
1202 RIDGE
ROCKWALL, TX 75087

STEGMAN WILLIAM JR
12640 EAST NORTHWEST HWY SUITE 409
DALLAS, TX 75228

CURRENT RESIDENT
1300 RIDGE
ROCKWALL, TX 75087

CURRENT RESIDENT
1301 RIDGE
ROCKWALL, TX 75087

JACOBS DAVID R & BEVERLY
1304 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1306 RIDGE
ROCKWALL, TX 75087

CURRENT RESIDENT
1308 RIDGE
ROCKWALL, TX 75087

CURRENT RESIDENT
1309 RIDGE
ROCKWALL, TX 75087

CURRENT RESIDENT
1312 RIDGE
ROCKWALL, TX 75087

CURRENT RESIDENT
1316 RIDGE
ROCKWALL, TX 75087

CURRENT RESIDENT
1400 RIDGE
ROCKWALL, TX 75087

MASON RONALD E & GLORIA M
1402 RIDGE RD
ROCKWALL, TX 75087

ROGERS FAMILY LIVING TRUST
MICHAEL WAYNE ROGERS AND RELLA
VILLASANA ROGERS TRUSTEES
1404 RIDGE RD
ROCKWALL, TX 75087

GILLOCK MICHAEL J AND JEANETTE L
1415 S ALAMO RD
ROCKWALL, TX 75087

UNDERWOOD MARK ALLAN
1417 S ALAMO
ROCKWALL, TX 75087

BROOKS RICHARD L
1419 S ALAMO RD
ROCKWALL, TX 75087

DEEN JASON AND JENNIFER
1421 S ALAMO RD
ROCKWALL, TX 75087

ROSS JOSHUA A
1423 S ALAMO RD
ROCKWALL, TX 75087

PINNELL CHARLES C & GENEVA
1425 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1505 S ALAMO
ROCKWALL, TX 75087

CURRENT RESIDENT
1507 S ALAMO
ROCKWALL, TX 75087

CURRENT RESIDENT
1509 S ALAMO
ROCKWALL, TX 75087

PARRISH GERALD L JR AND JENNIFER F
1510 S ALAMO RD
ROCKWALL, TX 75087

BARRETT HOWARD & MARVALEE
1511 S ALAMO RD
ROCKWALL, TX 75087

SCROGGS JUSTIN D
1512 S ALAMO RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1514 S ALAMO
ROCKWALL, TX 75087

CURRENT RESIDENT
1515 S ALAMO
ROCKWALL, TX 75087

CURRENT RESIDENT
1516 S ALAMO
ROCKWALL, TX 75087

CARLSEN SCOTT & JAMIE
1518 S ALAMO
ROCKWALL, TX 75087

BALLI DAVID OMAR AND EMILY FARRIS
1592 EDMONDSON TRL
ROCKWALL, TX 75087

WEDDLE TRUST
JOHN C WEDDLE AND PAULETTE S WEDDLE
TRUSTEES
1601 S ALAMO RD
ROCKWALL, TX 75087

LYLE WILLIAM M JR & ERICA
1603 S ALAMO RD
ROCKWALL, TX 75087

T ROCKWALL APARTMENTS TX LLC
16600 DALLAS PARKWAY SUITE 300
DALLAS, TX 75248

T ROCKWALL PHASE 2 LLC
16600 DALLAS PKWY SUITE 300
DALLAS, TX 75248

HOTT SARI D
201 DARTBROOK
ROCKWALL, TX 75087

VIZZINI SABARINA L
201 MEADOWDALE DR
ROCKWALL, TX 75087

BARNHILL BARNEY
202 DARTBROOK
ROCKWALL, TX 75087

HIRIGOYEN IGNACIO A & LISA RAE
202 MEADOWDALE DRIVE
ROCKWALL, TX 75087

MURPHREE MICHAEL G AND AMANDA L
203 DARTBROOK
ROCKWALL, TX 75087

HERRIN MARVIN ET UX
203 MEADOWDALE DR
ROCKWALL, TX 75087

TSARDOULIAS HRISTOS
204 MEADOWDALE DRIVE
ROCKWALL, TX 75087

NOLAN DANIEL & DENISE
205 DARTBROOK
ROCKWALL, TX 75087

DICKSON JUDITH TAYLOR & KENNETH D
205 MEADOWDALE DR
ROCKWALL, TX 75087

HAIGNEY PETER F
206 MEADOWDALE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
207 MEADOWDALE
ROCKWALL, TX 75087

CAMERON LAND HOLDINGS LLC
2081 WHITNEY BAY DR
ROCKWALL, TX 75087

BOBST DANIEL W AND JENNIFER L
2701 SUNSET RIDGE SUITE 610
ROCKWALL, TX 75032

101 HUBBARD DR LLC
2701 SUNSET RIDGE DR SUITE 610
ROCKWALL, TX 75032

ROCKWALL COMMONS LLC
341 VERA CLIFF CT
OVIEDO, FL 32765

REID STEPHEN M II AND JAN K
3437 W 7TH ST #123
FORT WORTH, TX 76107

WON HOME CORPORATION
4321 BUCKNELL DRIVE
GARLAND, TX 75042

GREEN KRIS
5626 CAMBRIA DRIVE
ROCKWALL, TX 75032

KEEGAN MARTHA SUE
LIBERTY HEIGHTS GRACIOUS RETIREMENT
LIVING
936 W. YELLOW JACKET LANE
ROCKWALL, TX 75087

SLAUGHTER RICHARD E JR
PO BOX 1717
ROCKWALL, TX 75087

PEOPLES BILLY W
PO BOX 35
ROCKWALL, TX 75087

CRUSE ROBERT B AND MARGARET A
PO BOX 5468
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-020: SUP for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport for 1308 Ridge Road

Hold a public hearing to discuss and consider a request by Brian Bader on behalf of Victoria Kaprantzas for the approval of a Specific Use Permit (SUP) for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport on a 0.81-acre tract of land identified as Tract 27 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1308 Ridge Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 6/9/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 6/15/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

Your comments must be received by **6/15/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-020: SUP for Secondary Living Unit/Guest Quarters/Accessory Dwelling Unit and Carport for 1308 Ridge Road

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

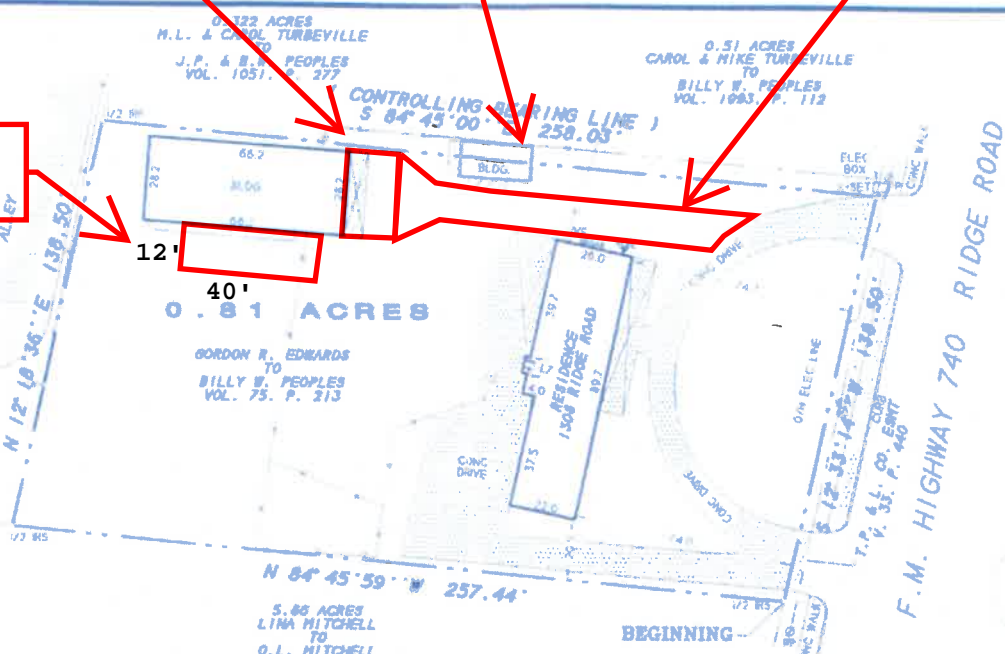
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

NEW 28' X 21' CARPORT

STRUCTURE REMOVED

NEW 12' DRIVEWAY TO GUEST QUARTERS

NEW 12' X 40' CONCRETE PATIO



RIDGE ROAD VILLAGE
CAB. A. SLIDE 131

0.222 ACRES
M.L. & CAROL TURBEVILLE
J.P. & B.P. PEOPLES
VOL. 1051. P. 277

0.51 ACRES
CAROL & MIKE TURBEVILLE
TO
BILLY W. PEOPLES
VOL. 1093. P. 112

GORDON R. EDWARDS
TO
BILLY W. PEOPLES
VOL. 75. P. 213

5.86 ACRES
LINA MITCHELL
TO
O.L. MITCHELL
VOL. 126. P. 907

DESCRIPTION

All that certain lot, tract or parcel of land situated in the DANIEL ATKINS SURVEY, ABSTRACT NO. 1, City of Rockwall, Rockwall County, Texas, and being all of that 0.817 acres tract of land as described in a Warranty deed from Gordon R. Edwards to Billy W. Peoples, dated March 31, 1986 and being recorded in Volume 75, Page 213 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the West right-of-way line of F.M. Highway 740 Ridge Road, at the Southeast corner of said 0.817 acres tract of land, said point being at the Northeast corner of a 5.86 acres tract of land as described in a Deed from Linda Mitchell to O.L. Mitchell, as recorded in Volume 126, Page 907 of the Deed Records of Rockwall County, Texas;

THENCE N. 84 deg. 45 min. 58 sec. W. along the North line of said Mitchell tract, a distance of 257.44 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the East boundary line of RIDGE ROAD VILLAGE, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet A, Slide 131 of the Plat Records of Rockwall County, Texas;

THENCE N. 12 deg. 18 min. 36 sec. E. along the East line of said Addition, a distance of 138.50 feet to a 1/2" iron rod found for corner at the Northwest corner of said Peoples tract;

THENCE S. 84 deg. 45 min. 00 sec. E. (Controlling bearing line) along the North line of said Peoples tract, a distance of 258.03 feet to an "X" cut in concrete for corner at the Northeast corner of same, said point being in the West right-of-way line of F.M. Highway 740 Ridge Road;

THENCE S. 12 deg. 33 min. 14 sec. W. along said right-of-way line, a distance of 138.50 feet to the POINT OF BEGINNING and containing 0.81 acres of land.

BEGINNING

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED DEED IN VOL. 75, PG. 213, D.R.R.C.T.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Petty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for RANGER TITLE COMPANY, WMC MORTGAGE CORP., and BILLY W. PEOPLES at 1308 RIDGE ROAD, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 13th day of May, 2004

Harold D. Petty III
Harold D. Petty III, R.P.L.S. No. 5034



TV	GAS	TEL	PH	PP
W	W	W	W	W
ELEC	TV	BLK	W	W
W	W	W	W	W

R.S.C.I.
ROCKWALL SURVEYING CO., INC. LAND SURVEYING
1984 S. FM 661 ROYSE CITY, TX 75189 972-772-5434 PHONE 972-772-5443 FAX
MAY 13 2004
PEOPLES

Billy W. Peoples 7-12-04















CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *GUEST QUARTERS/SECONDARY LIVING UNIT/ACCESSORY DWELLING UNIT* AND *CARPORT* THAT EXCEED THE MAXIMUM ALLOWABLE SIZE ON A 0.81-ACRE TRACT OF LAND IDENTIFIED AS TRACT 27 OF THE D. ATKINS SURVEY, ABSTRACT NO. 1, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brian Bader on behalf of Victoria Kaprantzas for the approval of a Specific Use Permit (SUP) to allow a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* that exceed the maximum allowable size on a 0.81-acre tract of land identified as Tract 27 of the D. Atkins Survey, Abstract No. 1, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, situated within the Scenic Overlay (SOV) District, addressed as 1308 Ridge Road, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* as stipulated by Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 02.03, *Conditional Land Use Standards*, of Article 04, *Permissible Uses*, and Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-20] -- as heretofore amended and as may be amended in the future --, and to the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Guest Quarters/Secondary Living Unit/Accessory Dwelling* and *Carport* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall generally conform to the concept plan, conceptual building elevations, and conceptual floor plan depicted in *Exhibits 'B', 'C' & 'D'* of this ordinance.
- (2) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* shall not exceed a maximum size of 1,848 SF.
- (3) The *Carport* shall not exceed a maximum size of 588 SF.
- (4) The subject property shall not have more than the two (2) accessory structures (*i.e. [1] guest quarters/secondary living unit/accessory dwelling unit, and [2] carport*) without amending this Specific Use Permit (SUP).
- (5) The existing accessory building along the northern property shall be removed from the property prior to the issuance of a building permit for the *Guest Quarters/Secondary Living Unit/Accessory Dwelling* and *Carport*.
- (6) Prior to the acceptance of the *Carport* the existing driveway shall be extended to the accessory structure as depicted in *Exhibit 'B'* of this ordinance.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JULY, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 15, 2020

2nd Reading: July 6, 2020

Exhibit 'A'
Location Map

Address: 1308 Ridge Road

Legal Description: Tract 27 of the D. Atkins Survey, Abstract No. 1



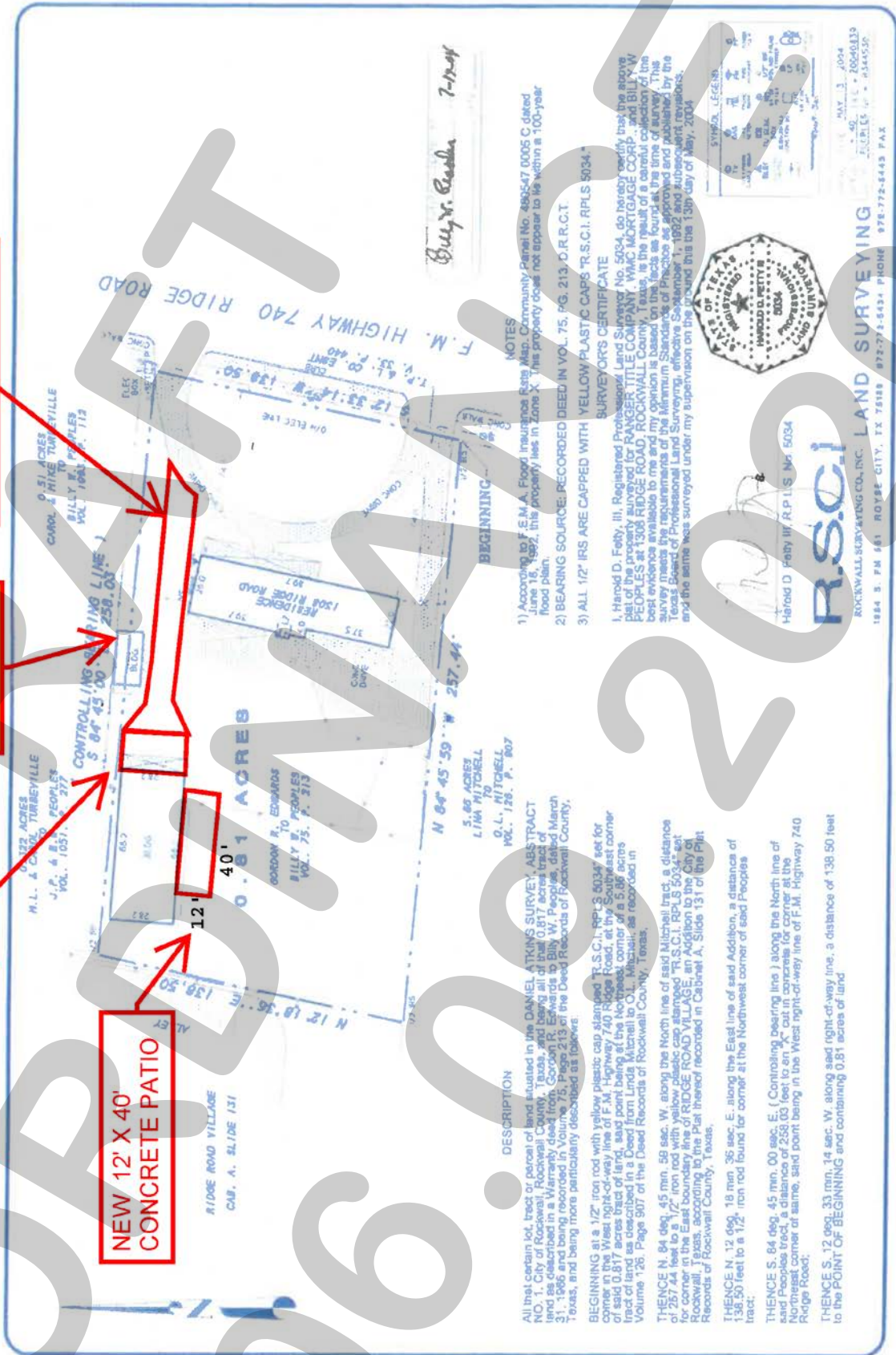
**Exhibit 'B':
Concept Plan**

**NEW 12' DRIVEWAY
TO GUEST QUARTERS**

**STRUCTURE
REMOVED**

**NEW 28' X 21'
CARPORT**

**NEW 12' X 40'
CONCRETE PATIO**



Buyer: Cecilia 7-12-04

- NOTES**
- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 489547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
 - 2) BEARING SOURCE: RECORDED DEED IN VOL. 75, PG. 213, D.R.R.C.T.
 - 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS TR.S.C.I. RPLS 5034.

SURVEYOR'S CERTIFICATE

I, Harold D. Feby, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for RANGER TITILE COMPANY, a subsidiary of GEORGE CORP., and BILLY W. PEOPLES at 1308 RIDGE ROAD, ROCKWALL COUNTY, TEXAS, is the result of a true and correct survey. The best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 13th day of May, 2004.



R.S.C.I.
ROCKWALL SURVEYING CO., INC. LAND SURVEYING
1884 S. FM 661, SUITE 100 • ROCKWALL, TEXAS 75087
PHONE 972-772-8443 FAX 972-772-8445

Exhibit 'C':
Conceptual Building Elevations



Exhibit 'D':
Conceptual Floor Plan





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: June 9, 2020

APPLICANT: Donald and Cathy Wallace

CASE NUMBER: Z2020-021; *Zoning Change from Agricultural (AG) District to Single-Family Estate 2.0 (SFE-2.0) District at Wallace Lane and Horizon Road [FM-3097]*

SUMMARY

Hold a public hearing to discuss and consider a request by Donald and Cathy Wallace for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for a four (4) acre tract of land identified as a portion of Tract 44-01 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, generally located northeast of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

BACKGROUND

The subject property is a four (4) acre portion of a larger tract of land that is situated within the W.W. Ford Survey, Abstract No. 80 and is generally located at the northwest quadrant of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and is commonly referred to as the *Wallace Tract*. The City Council approved *Ordinance No. 08-13*, annexing the subject property on February 18, 2008. At the time of annexation, the subject property was zoned as Agricultural (AG) District. No portion of the subject property has been rezoned since the property was annexed.

PURPOSE

On May 15, 2020, the applicants -- *Donald and Cathy Wallace* -- submitted an application requesting to change the zoning of the *subject property* from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest quadrant of the intersection of H. Wallace Lane and Horizon Road [FM-3097]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this thoroughfare is the eastside of the Lake Rockwall Estates subdivision, which is zoned Planned Development District 75 (PD-75) [Ordinance No. 16-07] for Single-Family 7 (SF-7) District land uses. Adjacent to this property on the eastside of Lake Rockwall Estates is an 84.0-acre vacant tract of land being a portion of a larger 144.0-acre tract of land identified as Tract 3 of the J. R. Johnson Survey, Abstract No. 128. This property is zoned Agricultural (AG) District.

South: Directly south of the subject property is Horizon Road [FM-3097], which is designated as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is the City's corporate boundaries followed by the City of Heath. On the eastside, south of the subject property is H. Wallace Lane, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this are several residential land uses zoned Agricultural (AG) and Single-Family Estate 1.5 & 2.0 (SFE-1.5 & SFE-2.0) Districts. In addition, there are several office buildings zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses. These uses are a part of the Alliance Addition office park.

East: Directly east of the subject property is H. Wallace Lane, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this are the Oaks of Buffalo Way and Willowcrest Estates Subdivisions, which consist of 91 single-family residential lots. These subdivisions are zoned Single-Family Estate 1.5 (SFE-1.5) District and Planned Development District 51 (PD-51) for single-family estate land uses.

West: Directly west of the subject property are several non-residential properties zoned Commercial (C) District. Beyond this is Ranch Trail Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting to rezone the four (4) acre portion of subject property from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for the purpose of constructing a single-family residential home on each of the two (2) acre lots. It should be noted that the applicant will be required to final plat the four (4) acre tract into two (2) buildable lots in order to construct the homes.

INFRASTRUCTURE

Based on the applicant's submittal the following infrastructure is required:

Water Improvements

The Water Distribution Master Plan indicates that a 12-inch waterline will be constructed in the front of these properties in the future. The applicant will be required to dedicate a 20-foot utility easement at the front property line at the time of platting in order to accommodate the installation of the water line.

Sewer Improvements

Since City sanitary sewer lines are greater than 100-feet from the subject property and the proposed lots will both be greater than 1½-acre in size, the applicant will need to provide an On-Site Sewage Facility (OSSF) meeting the City of Rockwall and Rockwall County's standards.

Roadways

The Master Thoroughfare Plan contained in the Comprehensive Plan indicates H. Wallace Lane is identified as a *Minor Collector*, which requires a minimum of a 60-foot right-of-way with a 41-foot, *back-to-back* roadway. The applicant is responsible dedicating any additional right-of-way (*i.e. as measured 30-feet from the centerline of the roadway*) necessary for this roadway at the time final plat.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.03, *Single-Family Estate 2.0 (SFE-2.0) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Single-Family Estate 2.0 (SFE-2.0) District is the proper zoning classification for rural, estate lots that are a minimum of two (2) acres in size ... (t)hese developments are typically in the City's hinterland, away from higher density residential developments and non-residential developments; however, they may be used in areas closer to the periphery of the City's developed areas, where they will serve as a logical transition to an estate or rural area." In this case, this portion of the *Wallace Tract (i.e. 259.924-acres)* was annexed into the City in 2008 and is primarily agriculturally used land. Staff should note that the majority of the properties adjacent to H. Wallace Lane are zoned Agricultural (AG) District, with the exception of two (2) properties that were rezoned in the past creating four (4) Single-Family Estate Lots (*i.e. SFE-2.0 & SFE-1.5*). If the applicant's zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for the Single-Family Estate 2.0 (SF-2.0) District, which are summarized as follows:

<i>Development Standards</i>	<i>Single-Family Estate 2.0 (SF-2.0) District</i>
<i>Number of Dwelling Units/Lot</i>	<i>1.0</i>
<i>Number of Dwelling Units/Acre</i>	<i>1.0</i>
<i>Minimum Dwelling Unit</i>	<i>2,200 SF</i>
<i>Minimum Lot Area</i>	<i>87,120 SF</i>
<i>Minimum Lot Width</i>	<i>150-Feet</i>
<i>Minimum Lot Depth</i>	<i>250-Feet</i>
<i>Minimum Front Yard Setback</i>	<i>50-Feet</i>

<i>Minimum Rear Yard Setback</i>	<i>10-Feet</i>
<i>Minimum Side Yard Setback</i>	<i>25-Feet</i>
<i>Between Buildings</i>	<i>10-Feet</i>
<i>Building Height</i>	<i>36-Feet</i>
<i>Maximum Lot Coverage</i>	<i>35%</i>
<i>Required Parking Spaces</i>	<i>2</i>

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the *Southwest Residential District* and is designated for *Low Density Residential (LDR)* land uses. The applicant's request, to change the zoning of the subject property from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District, is in conformance with the *Low Density Residential (LDR)* designation. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to "...(p)reserve the City's current residential to non-residential land use ratio (*i.e. 80% Residential; 20% Commercial*) in order to maintain a balance mix of land uses for fiscal sustainability ..." [*Section 02.01; CH. 1; Page 1-1*]. The *Land Use Plan* contained in the Comprehensive Plan was created to guide the City toward the desired 80% residential to 20% non-residential land use balance. Currently, the land use balance is at 75.90% residential land uses to 24.10% non-residential land uses. Since this request is in conformance with the *Land Use Plan*, the land use ratio will remain unchanged if approved.

NOTIFICATIONS

On May 29, 2020, staff notified eight (8) property owners and occupants within 500-feet of the subject property. There are no Homeowners Association's (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the HOA/Neighborhood Notification Program. At the time this report was written, staff had not received any notices regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an *Agricultural (AG) District* to a *Single-Family Estate 2.0 (SFE 2.0) District*, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-021

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address ADJACENT TO 330 H. WALLACE LN. ROCKWALL, TX 75032

Subdivision WALLACE TRACT Lot _____ Block _____

General Location HORIZON / WALLACE LN.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning AG/FARM Current Use AG/FARM

Proposed Zoning RESIDENTIAL Proposed Use SINGLE FAMILY RES.

Acreage 4 Lots [Current] 1 Lots [Proposed] 2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner DONALD & CATHY WALLACE Applicant

Contact Person CATHY WALLACE Contact Person

Address 330 H. WALLACE LN Address

City, State & Zip ROCKWALL, TX 75032 City, State & Zip

Phone 214-668-7752 Phone

E-Mail catlyn52@gmail.com E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared CATHY WALLACE [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 260.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 15 day of MAY, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 15th day of May, 2020.

Owner's Signature

Cathy Wallace
Cathy Wallace

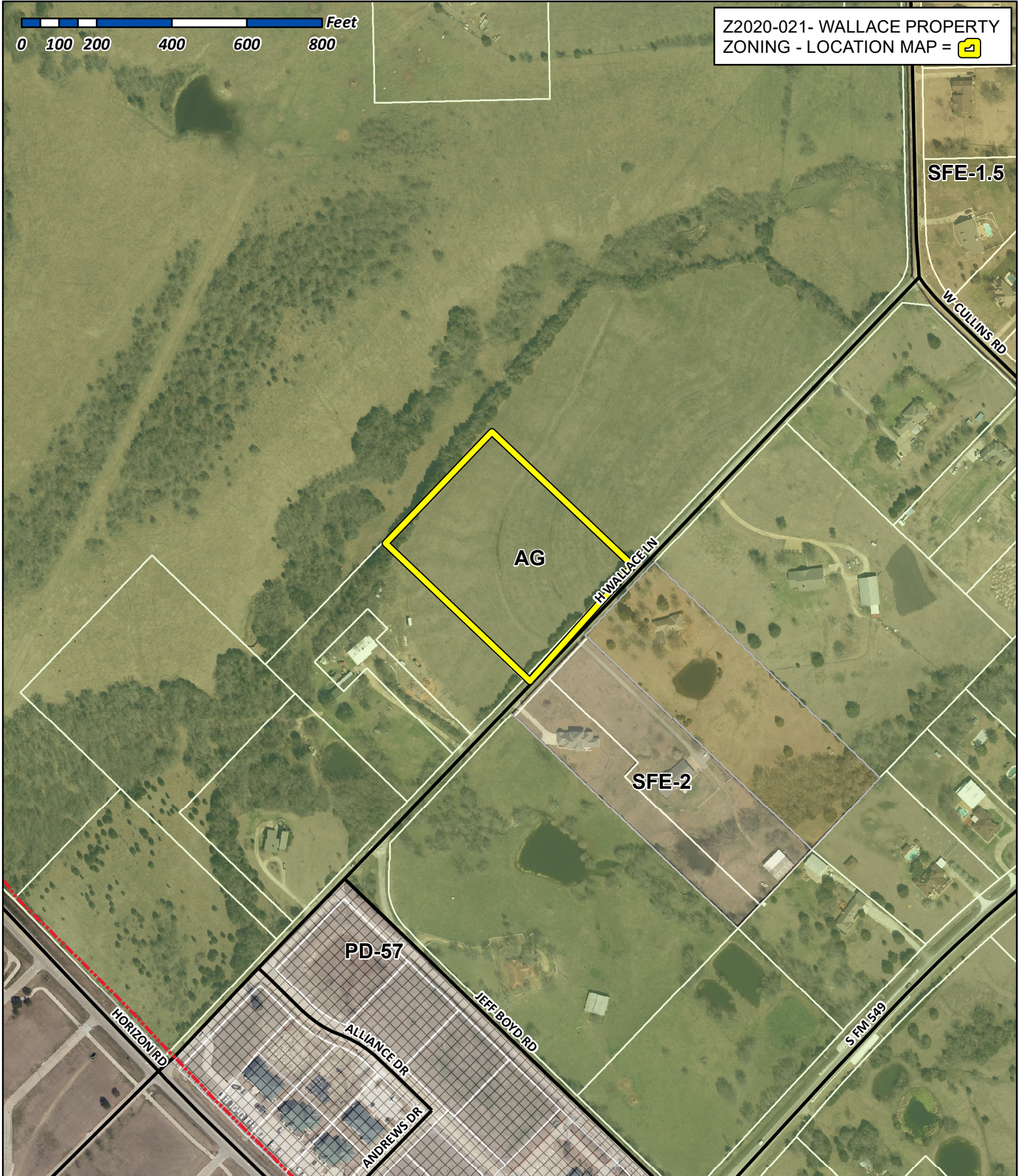
Notary Public in and for the State of Texas

Misti A. Jones



0 100 200 400 600 800 Feet

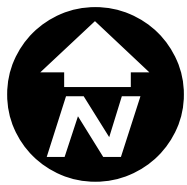
Z2020-021- WALLACE PROPERTY
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

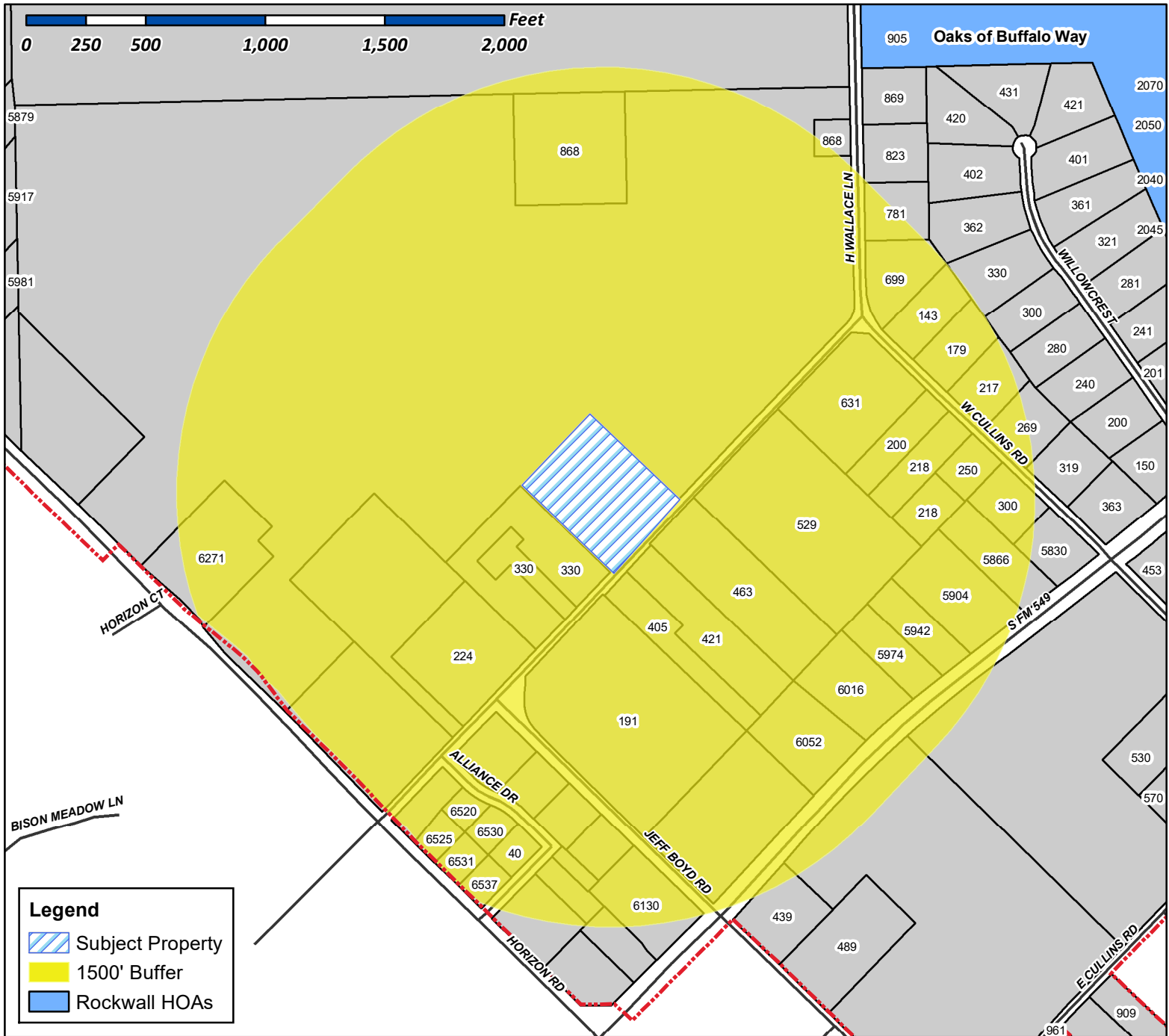




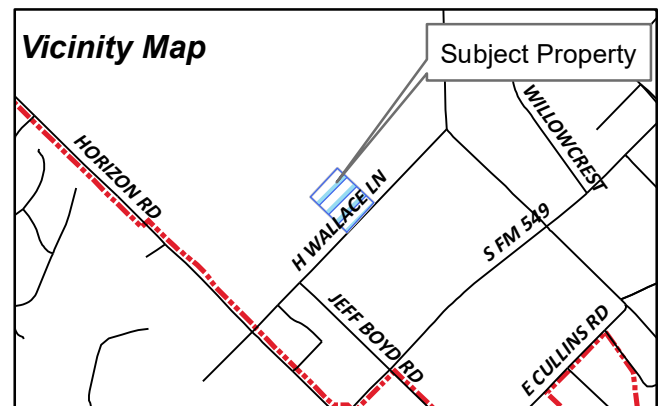
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Case Number: Z2020-021
Case Name: Zoning Change AG to SFE-1.5
Case Type: Zoning
Zoning: AG
Case Address: Wallace Property



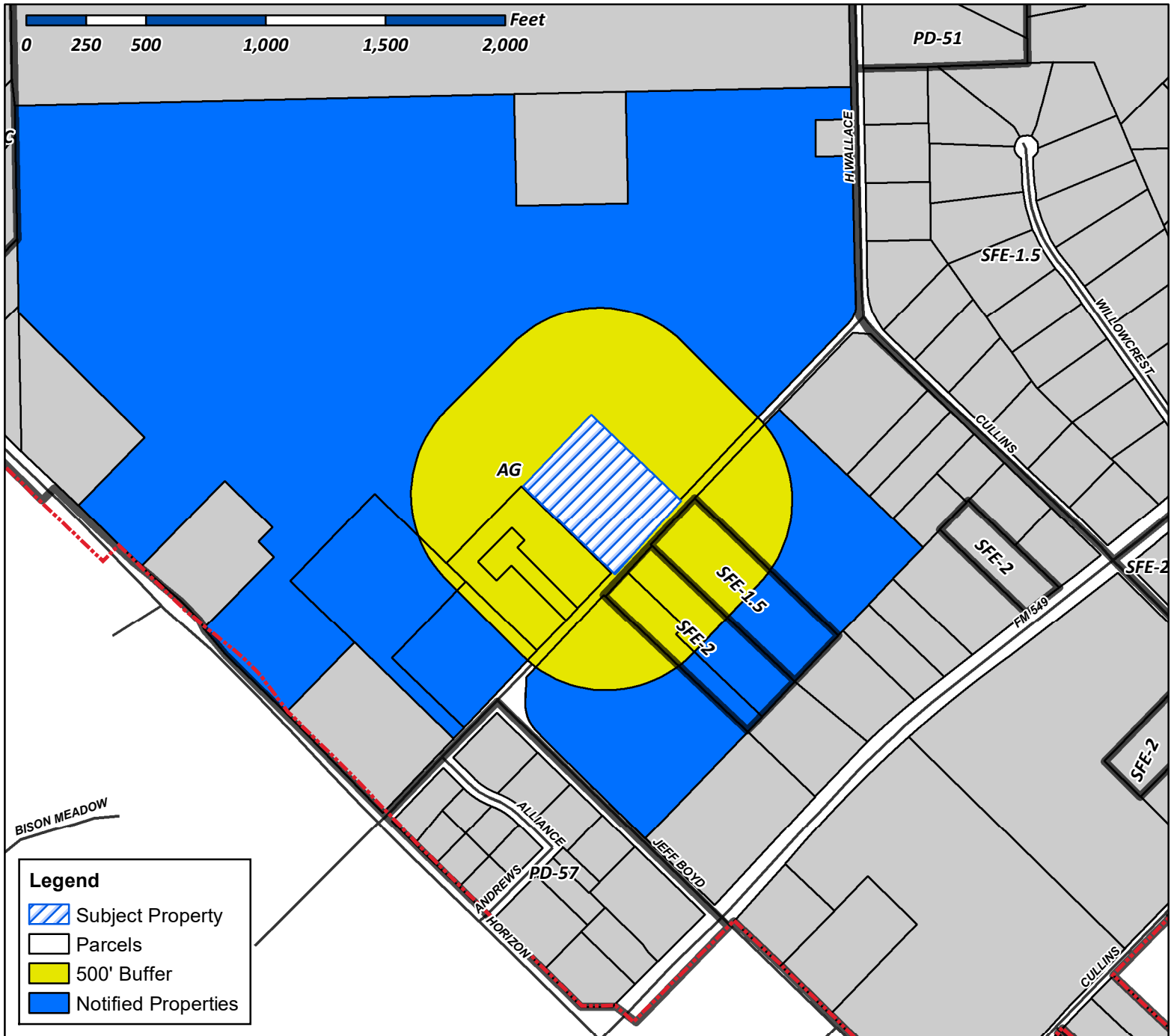
Date Created: 5/19/2020
For Questions on this Case Call (972) 771-7745



City of Rockwall

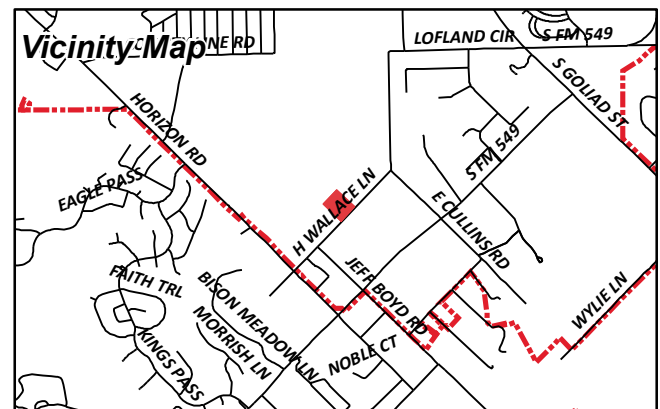
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Case Number: Z2020-021
Case Name: Zoning Change (AG to SFE-1.5)
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: Property next to 330 Wallace Ln

Date Created: 5/19/2020
For Questions on this Case Call (972) 771-7745



HUNT JACKSON W JR
191 JEFF BOYD RD
ROCKWALL, TX 75032

MORTON MARGARET ANNE WALLACE
224 H WALLACE LN
ROCKWALL, TX 75032

WALLACE DONALD J & CATHERINE
330 H WALLACE LN
ROCKWALL, TX 75032

KRECEK RICHARD L AND JANETTE C
405 H WALLACE LN
ROCKWALL, TX 75032

PALOMBA LISA
421 H WALLACE LN
ROCKWALL, TX 75032

WILCK PAUL J JR
463 H WALLACE LN
ROCKWALL, TX 75032

MCCOSH GORDON ETUX
529 H WALLACE LN
ROCKWALL, TX 75032

WALLACE LAND PARTNERS L P
6271 HORIZON RD
ROCKWALL, TX 75032

5-15-20

City of Rockwall

Planning and Zoning Department

385 S. Goliad Street

Rockwall, Tx. 75087

RE: Rezoning Request

To Whom it May Concern,

Please accept this letter as a request to rezone four (4) total acres of our property, directly adjacent to 330 H. Wallace Lane, Rockwall, Tx. 75032, from Agriculture/Farming, to Residential/Single-Family Housing. Once the property has been rezoned, it is our goal to sell/gift the property to our son and daughter so that they will be able to build a home on the property.

If you should have any questions or concerns, please do not hesitate to give me a call.

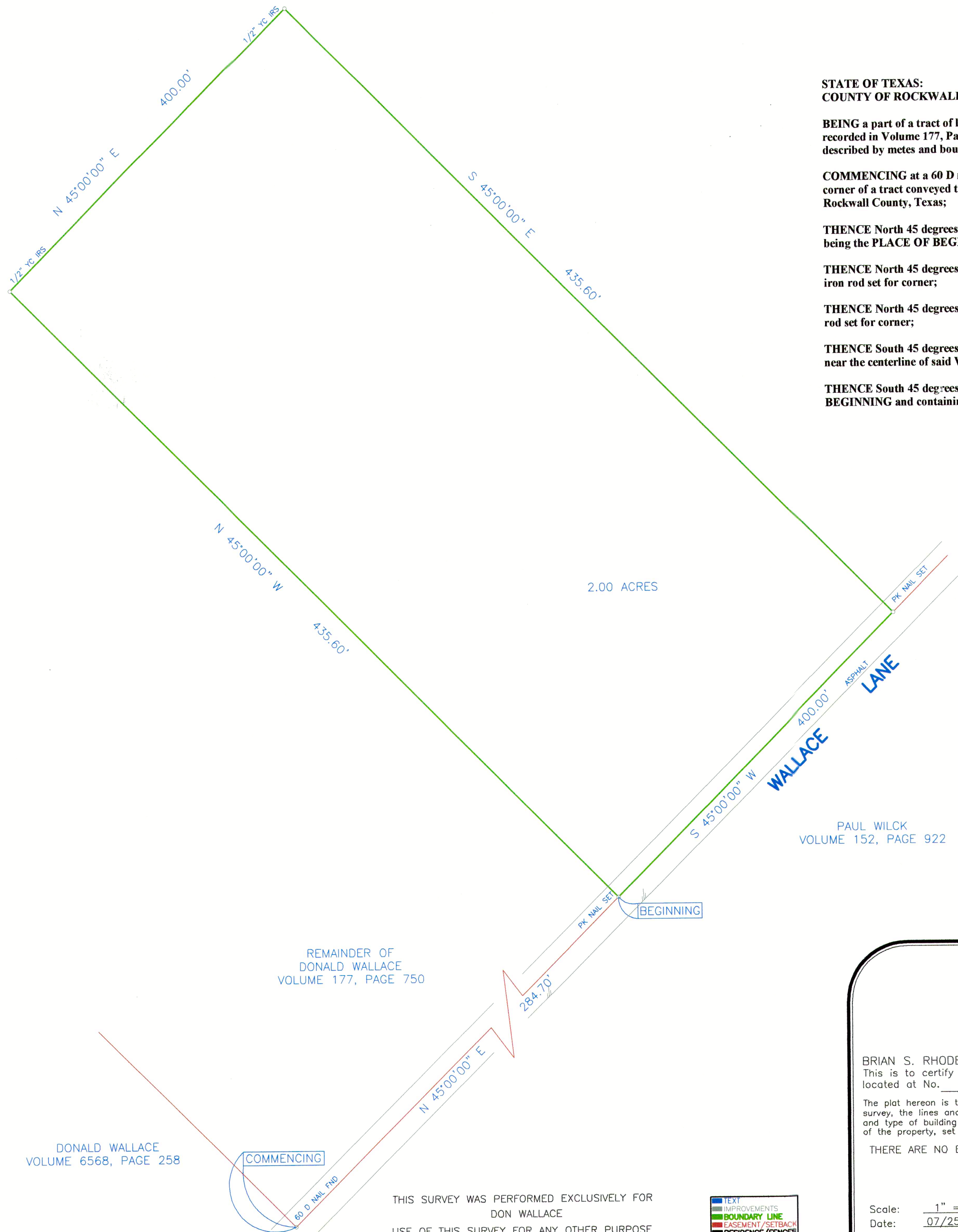
Thank you for your time and consideration ~

Regards,

A handwritten signature in black ink that reads "Don Wallace Cathy Wallace". The signature is written in a cursive, flowing style.

Donald & Cathy Wallace

REMAINDER OF DONALD WALLACE VOLUME 177, PAGE 750



STATE OF TEXAS:
COUNTY OF ROCKWALL:

BEING a part of a tract of land situated in the Headright Survey of W.W. Ford conveyed to Donald Wallace as recorded in Volume 177, Page 150 of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a 60 D nail found for corner near the centerline of Wallace Lane, a being the Southeast corner of a tract conveyed to Donald Wallace as recorded in Volume 6568, Page 258 of the Deed Records of Rockwall County, Texas;

THENCE North 45 degrees 00 minutes 00 seconds East a distance of 284.70 feet to a PK nail set for corner and being the PLACE OF BEGINNING;

THENCE North 45 degrees 00 minutes 00 seconds West, a distance of 435.60 feet to a 1/2 inch yellow-capped iron rod set for corner;

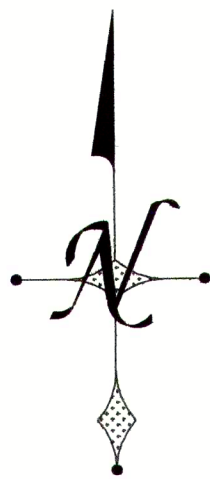
THENCE North 45 degrees 00 minutes 00 seconds East, a distance of 400.00 feet to a 1/2 inch yellow-capped iron rod set for corner;

THENCE South 45 degrees 00 minutes 00 seconds East, a distance of 435.60 feet to a PK nail set for corner near the centerline of said Wallace Road;

THENCE South 45 degrees 00 minutes 00 seconds West, a distance of 400.00 feet to the PLACE OF BEGINNING and containing 2.00 acre of land.

PAUL WILCK
VOLUME 152, PAGE 922

RHODES
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REMAINDER OF DONALD WALLACE VOLUME 177, PAGE 750

DONALD WALLACE VOLUME 6568, PAGE 258

SURVEY PLAT

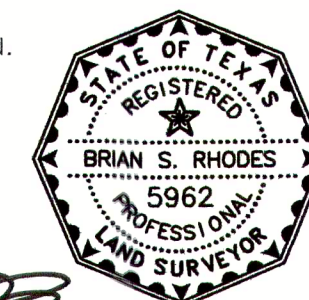
BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. WALLACE LANE, in the city ROCKWALL, ROCKWALL COUNTY Texas.

The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat: the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 40'
Date: 07/25/2014
G. F. No.:
Job no.: 83951-B
Drawn by: CW

P.O. BOX 175
FATE TEXAS 75132
PHONE 972-475-8940
FAX 972-475-9036

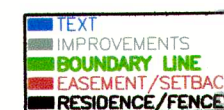


THIS CERTIFICATION DOES NOT TAKE INTO CONSIDERATION ADDITIONAL FACTS THAT AN ACCURATE TITLE SEARCH AND OR EXAMINATION MIGHT DISCLOSE.

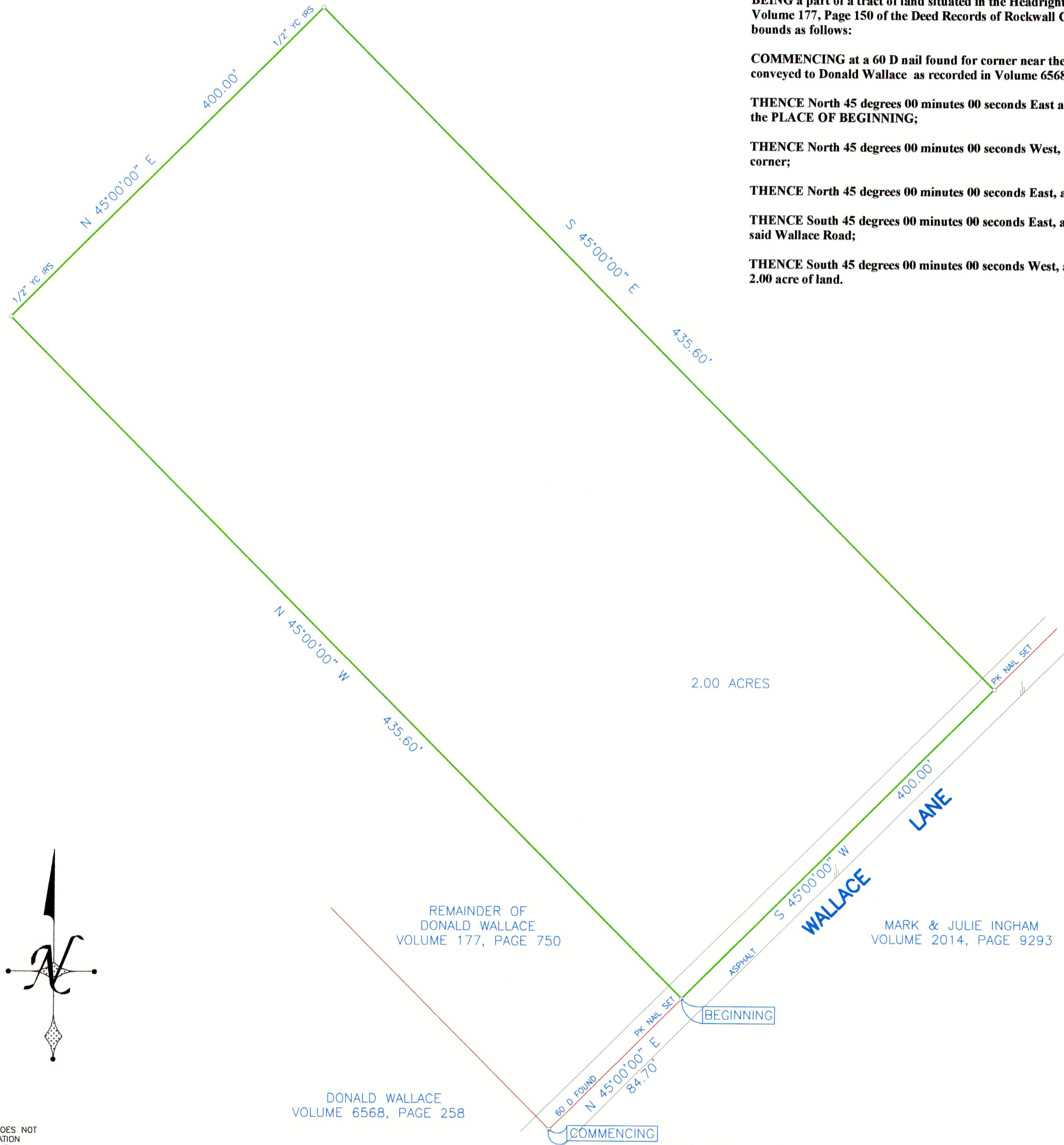
TITLE AND ABSTRACTING WORK FURNISHED BY DON WALLACE

THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR DON WALLACE

USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS FOR ANY LOSS RESULTING THEREFROM.



REMAINDER OF
DONALD WALLACE
VOLUME 177, PAGE 750



STATE OF TEXAS:
COUNTY OF ROCKWALL:

BEING a part of a tract of land situated in the Headright Survey of W.W. Ford conveyed to Donald Wallace as recorded in Volume 177, Page 150 of the Deed Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a 60 D nail found for corner near the centerline of Wallace Lane, a being the Southeast corner of a tract conveyed to Donald Wallace as recorded in Volume 6568, Page 258 of the Deed Records of Rockwall County, Texas;

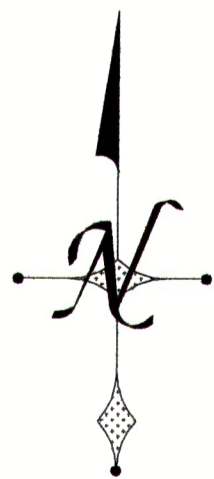
THENCE North 45 degrees 00 minutes 00 seconds East a distance of 84.70 feet to a PK nail set for corner and said point being the PLACE OF BEGINNING;

THENCE North 45 degrees 00 minutes 00 seconds West, a distance of 435.60 feet to a 1/2 inch yellow-capped iron rod set for corner;

THENCE North 45 degrees 00 minutes 00 seconds East, a distance of 400.00 feet to a 1/2 inch yellow-capped iron rod set for corner;

THENCE South 45 degrees 00 minutes 00 seconds East, a distance of 435.60 feet to a PK nail set for corner near the centerline of said Wallace Road;

THENCE South 45 degrees 00 minutes 00 seconds West, a distance of 400.00 feet to the PLACE OF BEGINNING and containing 2.00 acre of land.



REMAINDER OF
DONALD WALLACE
VOLUME 177, PAGE 750

DONALD WALLACE
VOLUME 6568, PAGE 258

MARK & JULIE INGHAM
VOLUME 2014, PAGE 9293

2.00 ACRES

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SURVEY PLAT

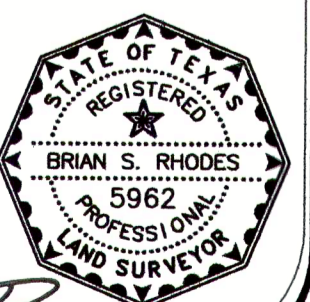
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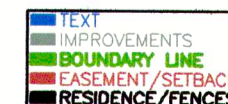


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CITY OF ROCKWALL

ORDINANCE NO. 20-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A SINGLE-FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT FOR A FOUR (4) ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF TRACT 44-01 OF THE W.W. FORD SURVEY, ABSTRACT NO. 80, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Donald and Cathy Wallace for a change in zoning from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District for a four (4) acre tract of land identified as a portion of Tract 44-01 of the W.W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and more fully depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Single-Family Estate 2.0 (SF-2.0) District.

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Single-Family Estate 2.0 (SFE-2.0) District* as stipulated in Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, and Subsection 03.03, *Single-Family Estate 2.0 (SFE-2.0) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future.

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein.

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF JULY, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 15, 2020

2nd Reading: July 6, 2020

Exhibit 'A'
Legal Description

Legal Description for Tract 1:

**STATE OF TEXAS:
COUNTY OF ROCKWALL:**

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THENCE North 45 degrees 00 minutes 00 seconds West, a distance of 435.60 feet to a ½ inch yellow-capped iron rod set for corner;

THENCE North 45 degrees 00 minutes 00 seconds East, a distance of 400.00 feet to a ½ inch yellow-capped iron rod set for corner;

THENCE South 45 degrees 00 minutes 00 seconds East, a distance of 435.60 feet to a PK nail set for corner near the centerline of said Wallace Road;

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Legal Description for Tract 2:

**STATE OF TEXAS:
COUNTY OF ROCKWALL:**

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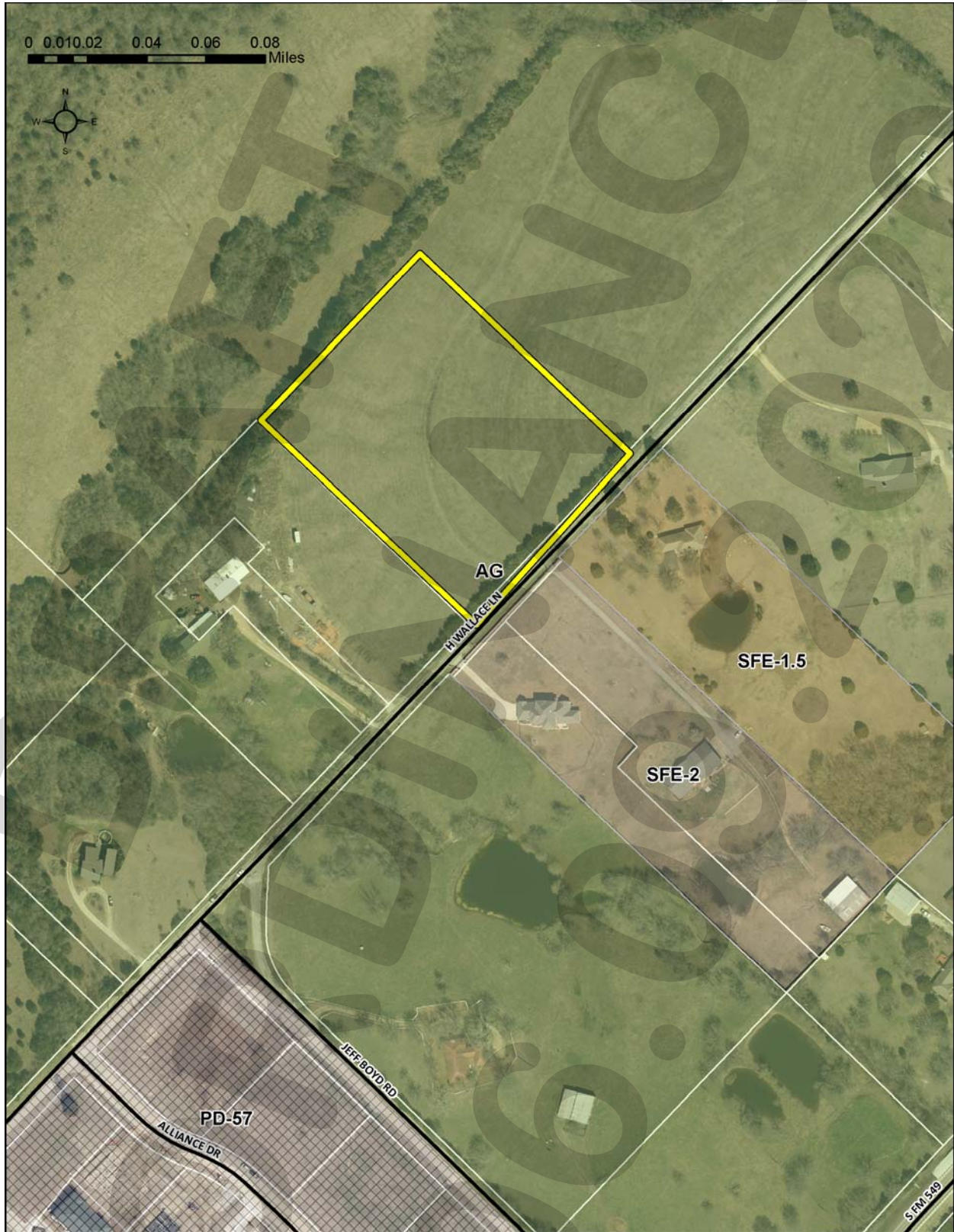
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Exhibit 'C'
Location Map & Legal Description

General Location: Northeast of the Intersection of H. Wallace Lane and Horizon Road [FM3097]
Legal Description: A Portion of Tract 44-01 of the W.W. Ford Survey, Abstract No. 80





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 9, 2020
APPLICANT: Brad Johnson
CASE NUMBER: Z2020-022; *Specific Use Permit (SUP) for a Detached Garage at 803 Kernodle Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Brad Johnson for the approval of a Specific Use Permit (SUP) for Detached Garage that exceeds the maximum square footage on a 0.666-acre parcel of land identified as Block 38 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 803 Kernodle Street, and take any action necessary.

BACKGROUND

The subject property is considered to be a part of the Old Town, and was platted with the B. F. Boydston Addition prior to 1959 and after 1934 (*per the 1934 Sanborn maps and the City's annexation ordinances*). According to the City's historic zoning maps the subject property has been zoned Single-Family 7 (SF-7) District since at least May 16, 1983. Prior to this, the City's historic zoning maps show that the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. According to the Rockwall Central Appraisal District (RCAD) the home on the subject property was constructed in 1964 and has a total building footprint of 2,862 SF (*2,014 SF of Living Area*).

PURPOSE

The property owner and applicant -- *Brad Johnson* -- is requesting the approval of a Specific Use Permit (SUP) to construct an detached garage that exceeds the maximum square footage permitted for detached garages as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 803 Kernodle Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) single-family homes (*i.e. 805 & 807 Kernodle Street*) zoned Single-Family 7 (SF-7) District. North of this is the intersection of E. Heath Street and N. Fannin Street. N. Fannin Street is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Harris Heights Subdivision, which is zoned Single-Family 7 (SF-7) District and contains 58 single-family residential lots.

South: Directly south of the subject property are two (2) single-family homes (*i.e. 703 & 705 Kernodle Street*) zoned Single-Family 7 (SF-7) District. Beyond this is Lillian Street, which is designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is the boundary of the Historic District followed by three (3) single-family homes (*i.e. 601 & 607 Kernodle Street and 301 Margaret Street*) zoned Single-Family 7 (SF-7) District. 301 Margaret Street is designated as a *High Contributing Property* within the Historic District.

East: Directly east of the subject property is Kernodle Street, which is designated as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040

Comprehensive Plan. Beyond this are four (4) single-family homes (*i.e.* 802 & 806 Kernodle Street and 801 & 803 Austin Street) zoned Single-Family 7 (SF-7) District.

West: Directly west of the subject property is Fannin Street, which is designated as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 3.46-acre vacant tract of land zoned Single Family 7 (SF-7) District. Following this is the *Heath Street Pump Station*, which is owned by the City of Rockwall.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, site plan, and drawings requesting to build a 30-foot by 40-foot (*i.e.* 1,200 SF) detached garage with three (3) roll up doors facing Kernodle Street. Per the drawings provided by the applicant the detached garage will have a pitched roof and be a total height of 12-feet. The exterior of the accessory building will be clad in metal and the roof will utilize an asphalt shingle that is complimentary to the asphalt shingle used on the primary structure. The building will be situated at the rear of the subject property, 36-feet behind the existing single-family home, ten (10) feet from the rear property line, and 12-feet from the northern property line. The accessory building will be situated behind a six (6) foot fence and be slightly visible Kernodle Street and Fannin Street. Staff should note that the applicant has stated that he intends to install an electric gate across the driveway and extend the existing driveway to the proposed structure.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of two (2) accessory buildings each being 144 SF in size or one (1) accessory building at 144 SF in size and one (1) detached garage at 625 SF in size. In addition, detached garages are limited to a maximum height of 15-feet and must meet the same minimum setbacks established for the primary structure. Staff should note that the definition of a front yard setback in the Unified Development Code (UDC) states that "... (w)here lots have multiple frontages on one or more streets, the required front yard shall be provided on each street." This means that the setback adjacent to Fannin Street is treated as a front yard setback making it 20-feet. Subsection 07.04 of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)."

STAFF ANALYSIS

In this case, the applicant's request has two (2) issues that need to be solved through separate processes: [1] the size of the accessory building requires a Specific Use Permit (SUP), and [2] the proposed rear yard setback of the structure encroaches into the required 20-foot building setback adjacent to Fannin Street. Looking at the size of the proposed structure the code allows a maximum of 625 SF, which means that the applicant's request will exceed the maximum size by 575 SF. With regard to the issue with the setback, staff has included a provision in the draft ordinance that -- *if approved* -- will require the applicant to submit for approval through the Board of Adjustments (BOA). The reason that staff is choosing to take the Specific Use Permit (SUP) forward before the building setback variance is because the applicant would be able to adjust the structure to still be in compliance with the Specific Use Permit (SUP) ordinance if denied by the Board of Adjustments (BOA). In making a decision on the Specific Use Permit (SUP) the Planning and Zoning Commission will need to consider if the size of the structure is appropriate for the area, if the structure is compatible with the primary structure, and/or if the visibility of the structure is sufficiently screened to negate any negative impact on adjacent properties. Staff should note that due to the fact that this area predates the current requirements, there are several examples of detached garages that are larger than the current requirements. In addition, there are at least three (3) examples of detached garages on Kernodle Street that do not appear to meet the current requirements (*i.e.* *Estimated Detached Garage Sizes: 602 Kernodle Street – ~1,000 SF; 607 Kernodle Street – ~800 SF; 703 Kernodle Street – ~800 SF*); however, all of these structures appear to be constructed of the same or similar materials as the primary structure. In the Planning and Zoning Commission Work Session meeting on May 28, 2020, the applicant indicated that he was constructing the structure with a brick ledge to brick the building in the future, but that he was not making that a part of this request. Staff should also note that there are other metal accessory buildings in the surrounding area, but none of these buildings are as large as what the applicant is proposing. Taking all of this into account,

any request for a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On May 27, 2020, staff mailed 99 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Caruth Lakes (*Caruth Ridge Estates*) Homeowner's Association (HOA), which is the only HOA or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received four (4) notices (*i.e. one [1] mailed and three [3] online*) and two (2) email in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to for a Specific Use Permit (SUP) for a detached garage that exceeds the maximum permissible size, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The *Detached Garage* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance.
 - (b) The *Detached Garage* shall not exceed a maximum size of 1,200 SF.
 - (c) The *Detached Garage* shall not exceed a maximum of 15-feet in total height.
 - (d) The subject property shall not have more than one (1) accessory building.
 - (e) Prior to the acceptance of the structure from the City, the applicant will be required to extend the existing driveway to the structure and provide a gate in the fence allowing the structure to function as a *Detached Garage*.
- (2) The applicant will be required to submit and be approved for a variance to the building setback along Fannin Street from the Board of Adjustments (BOA).
- (3) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-022

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 803 Kennodde

Subdivision

Lot

Block

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Residential

Current Use Residential

Proposed Zoning Residential

Proposed Use Residential

Acreage .67

Lots [Current] 1

Lots [Proposed] 1

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Brad Johnson

Applicant Brad Johnson

Contact Person Brad Johnson

Contact Person Brad Johnson

Address 803 Kennodde

Address 803 Kennodde

City, State & Zip Rockwall, TX 75087

City, State & Zip Rockwall, TX 75087

Phone 817-781-5425

Phone 817-781-5425

E-Mail bradj@lindamead.net

E-Mail bradj@lindamead.net

NOTARY VERIFICATION [REQUIRED]

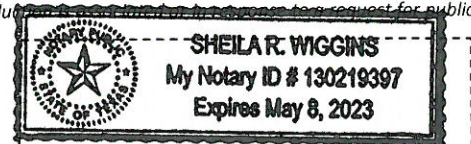
Before me, the undersigned authority, on this day personally appeared Brad Johnson [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is necessary to respond to a request for public information."

Given under my hand and seal of office on this the 15 day of May, 2020.


Owner's Signature

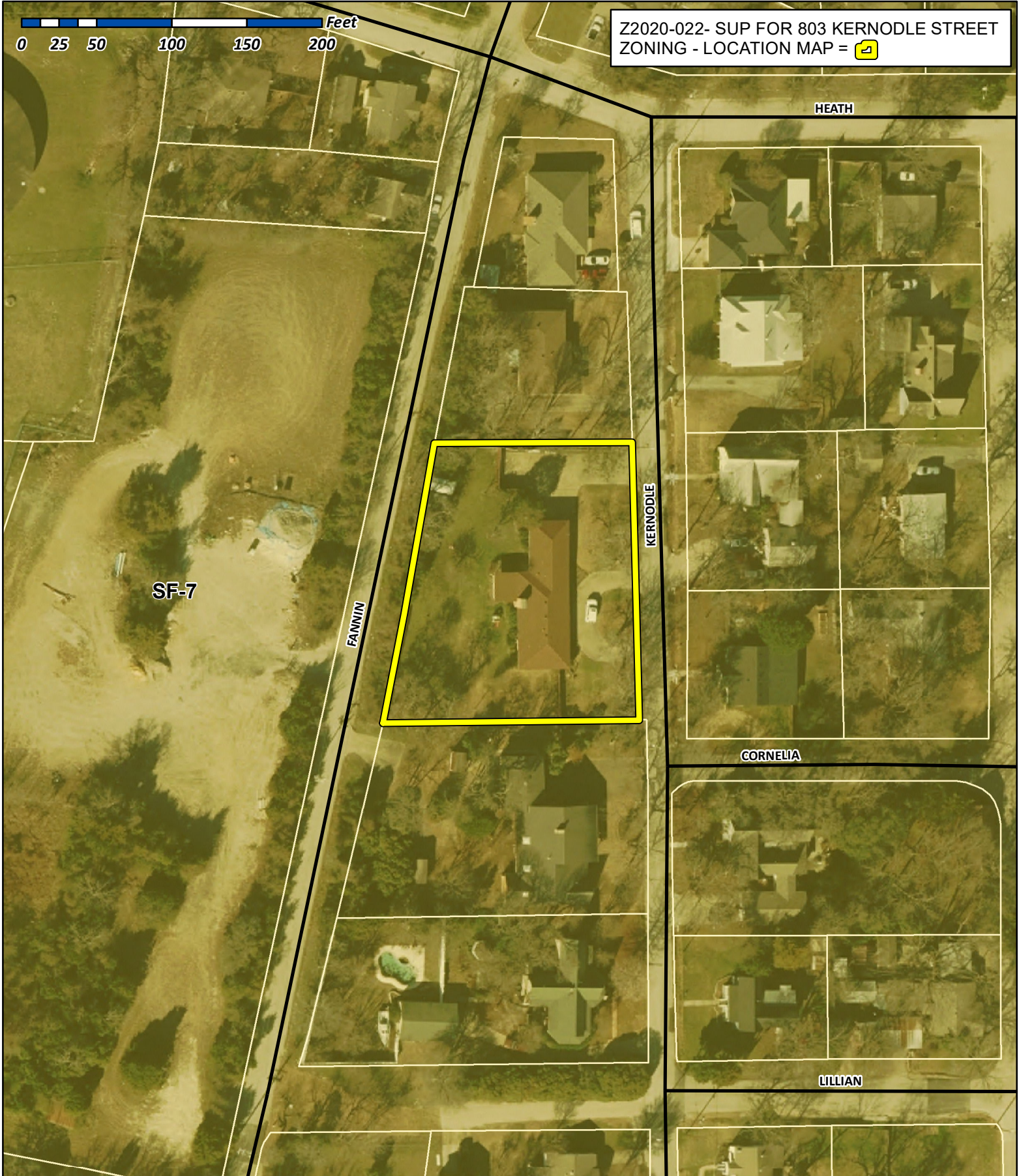
Notary Public in and for the State of Texas



My Commission Expires May 8, 2023

0 25 50 100 150 200 Feet

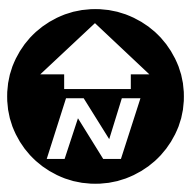
Z2020-022- SUP FOR 803 KERNODLE STREET
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

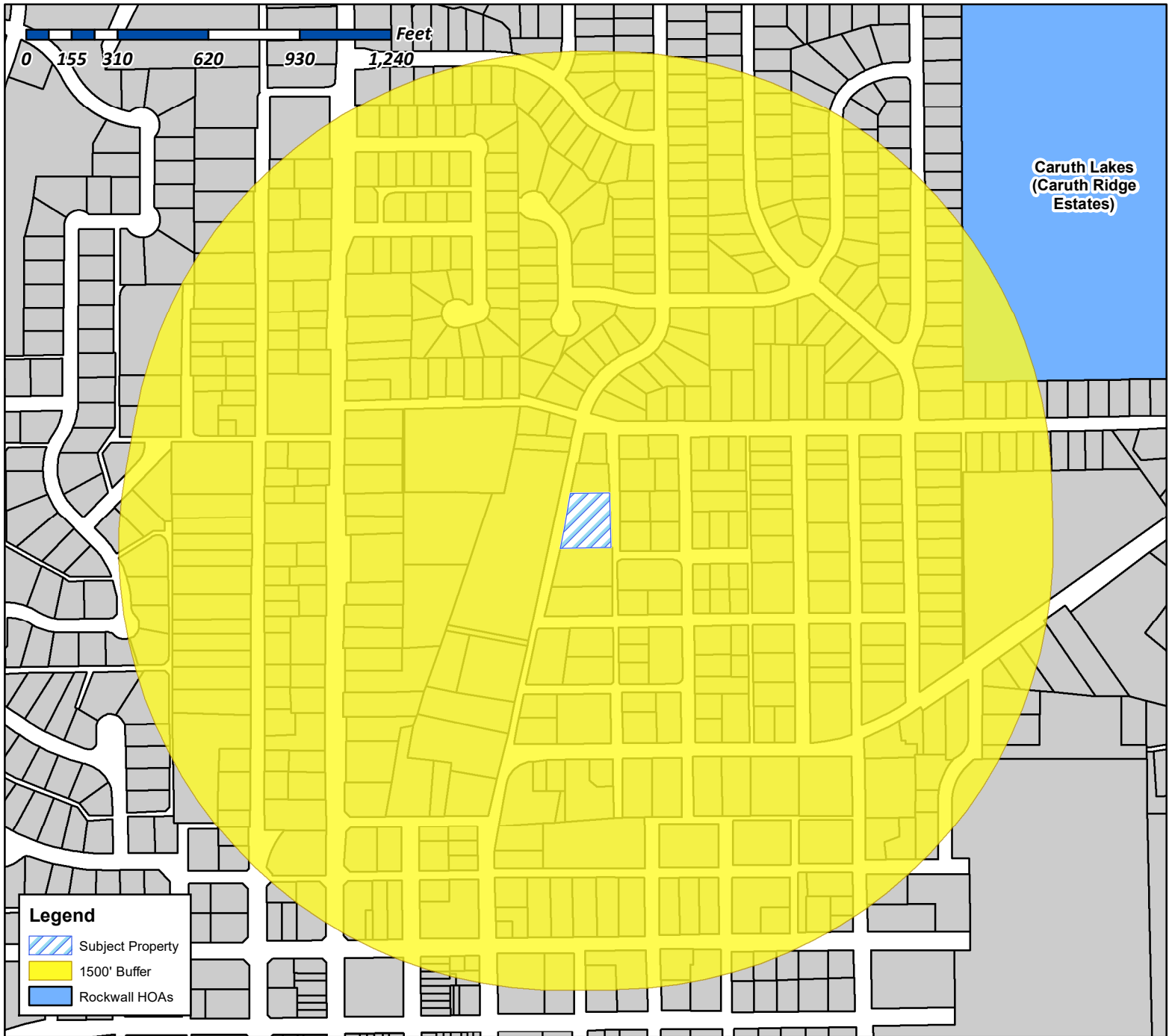




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Case Number: Z2020-022
Case Name: SUP for 803 Kernodle Street
Case Type: Specific Use Permit
Zoning: Single-Family 7 (SF-7) District
Case Address: 803 Kernodle Street



Date Created: 5/18/2020
 For Questions on this Case Call (972) 771-7745

From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#)
Subject: Neighborhood Notification Program
Date: Wednesday, May 20, 2020 11:45:02 AM
Attachments: [HOA Map \(05.18.2020\).pdf](#)
[PUBLIC NOTICE.PDF](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [May 29, 2020](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, June 9, 2020 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, June 15, 2020 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-022- SUP for Detached Garage for 803 Kernodle Street

Hold a public hearing to discuss and consider a request by Brad Johnson for the approval of a [Specific Use Permit \(SUP\)](#) for Detached Garage that exceeds the maximum square footage on a 0.666-acre parcel of land identified as Block 38 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 803 Kernodle Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

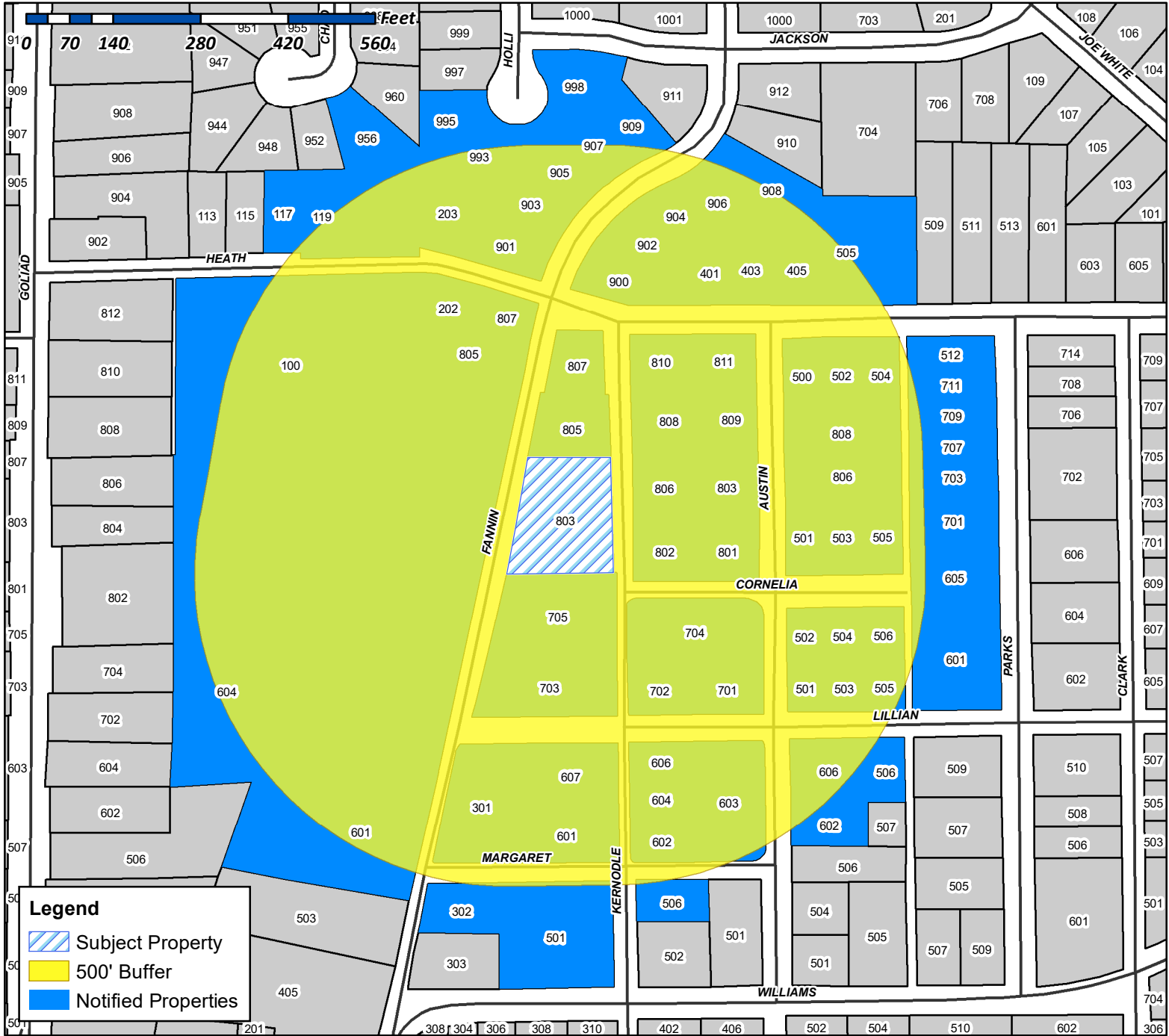
<http://www.rockwall.com/planning/>



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

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Case Number: Z2020-022
Case Name: SUP for 803 Kernodle Street
Case Type: Specific Use Permit
Zoning: Single-Family 7 (SF-7) District
Case Address: 803 Kernodle Street

Date Created: 5/18/2020
 For Questions on this Case Call (972) 771-7745



CITY LIFT STATION
100 E HEATH
ROCKWALL, TX 75087

SILVA MANUEL
1041 E FM 552
ROCKWALL, TX 75087

STORY CATHERINE C
117 E HEATH ST
ROCKWALL, TX 75087

GARRISON MONA
119 E HEATH ST
ROCKWALL, TX 75087

LAWRENCE RUSSELL W AND KELLY D
12 AMITY LANE
ROCKWALL, TX 75087

LABARRE THAD & PATRICIA
120 ORCHARD LN
ROCKWALL, TX 75087

MCCALLUM PAMELIA L
166 NW 6TH CT
BACO RATON, FL 33432

DOOLEY RHONDA N
19801 E 86TH ST N
OWASSO, OK 74055

KENNEDY HAYLEY
201 CHAMPION DR
WYLIE, TX 75095

CITY LIFT STATION
201 E WASHINGTON ST
ROCKWALL, TX 75087

RICE GARRETT R AND JAMIE B
202 E HEATH ST
ROCKWALL, TX 75087

BLANKENSHIP JAMES WISE & LISA
203 E HEATH ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
210 GLENN AVE
ROCKWALL, TX 75087

PARK ALLEN
2301 LAFAYETTE DR
HEATH, TX 75032

ORTAMOND DONALD J & JANA R
301 MARGARET ST
ROCKWALL, TX 75087

LOFTUS GERALDINE
302 E MARGARET ST
ROCKWALL, TX 75087

VANHORN PENNI AND
JOE ZYLKA AND BONNIE ZYLKA
3021 RIDGE RD STE A-66
ROCKWALL, TX 75032

TIPPING VIVIAN E LUSK
401 E HEATH ST
ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD
PARTNERSHIP
403EHEATH
ROCKWALL, TX 75087

PARK ALLEN
405EHEATH
ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D
500 E HEATH ST
ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M
501 CORNELIA ST
ROCKWALL, TX 75087

BUTTGEN JAMES D
501 KERNODLE ST
ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN
501 LILLIAN ST
ROCKWALL, TX 75087

BARNETT GEORGE S
502 CORNELIA ST
ROCKWALL, TX 75087

MCINTIRE J M & ERLINDA
502 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
503 CORNELIA
ROCKWALL, TX 75087

AWAJA PROPERTIES LLC
503 LILLIAN
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
504 CORNELIA
ROCKWALL, TX 75087

TANTON MELVIN V JR
504 E HEATH ST
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
505 CARRIAGE TRAIL
ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN
505 CORNELIA
ROCKWALL, TX 75087

BARRON GILDARDO
505 LILLIAN ST
ROCKWALL, TX 75087

VANHORN PENNI AND
505EHEATH
ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR
506 CORNELIA
ROCKWALL, TX 75087

SMITH ALAN E & JUDY ROPER SMITH
506 KERNODLE ST
ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE
506 LILLIAN ST
ROCKWALL, TX 75087

COATS LOIS LOUISE
512 E HEATH ST
ROCKWALL, TX 75087

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

BROWN JONATHAN R & CHRISTY A
601 KERNODLEST
ROCKWALL, TX 75087

HALL DOUGLAS A & MARCI
601 N FANNIN ST
ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH
601 PARKS AVE
ROCKWALL, TX 75087

PEOPLES MICHAEL L &
602 AUSTINST
ROCKWALL, TX 75087

MCCALLUM PAMELIA L
602 KERNODLEST
ROCKWALL, TX 75087

LOFLAND JANA J
603 AUSTIN ST
ROCKWALL, TX 75087

CRISWELL BARBARA
604 GOLIAD
ROCKWALL, TX 75087

FUNK TED FREDRICK AND REBECCA LYNN
604 KERNODLE
ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM
605 PARKS AVE
ROCKWALL, TX 75087

DANIEL RODNEY
606 AUSTIN ST
ROCKWALL, TX 75087

MATA JAIME AND TRINA THOMAS
606 KERNODLEST
ROCKWALL, TX 75087

MULLINS CHRISTOPHER CHARLES AND ARYN
ELISE
607 KERNODLE ST
ROCKWALL, TX 75087

CASTRO RENE & BETSY
700 WINDSONG LN
ROCKWALL, TX 75032

MOONEY BEULAH CHRISTINE
701 AUSTIN ST
ROCKWALL, TX 75087

CASTILLO AGAPITO & ESTELA
701 PARKS AVE
ROCKWALL, TX 75087

KREIFELS NATALIE E AND JACOB T
702 KERNODLEST
ROCKWALL, TX 75087

TIBBETTS ELAINE
703 KERNODLE ST
ROCKWALL, TX 75087

HANSON BRANDON R
703 PARKS AVE
ROCKWALL, TX 75087

THOMAS TRACY
704 KERNODLE ST
ROCKWALL, TX 75087

ZIMMERMAN CAROLYN
705 KERNODLE ST
ROCKWALL, TX 75087

BELANGER CORKY
707 PARKS
ROCKWALL, TX 75087

BARRON ARMANDO
709 PARKS AVE
ROCKWALL, TX 75087

NIXON ALBERT
711 PARKS AVE
ROCKWALL, TX 75087

CRISWELL BARBARA
7110 HUNT LANE
ROCKWALL, TX 75087

MATA JAIME AND TRINA THOMAS
752 WINDSONG LN
ROCKWALL, TX 75032

BROWN JONATHAN R & CHRISTY A
7814 KILLARNEY LANE
ROWLETT, TX 75089

KENNEDY HAYLEY
801 AUSTIN
ROCKWALL, TX 75087

WELCH CHRISTOPHER
802 KERNODLE ST
ROCKWALL, TX 75087

SILVA MANUEL
803 AUSTIN
ROCKWALL, TX 75087

MCKEEVER RANDALL L AND TERRI L
803 KERNODLE STREET
ROCKWALL, TX 75087

BUSHNELL MICHAEL S & TIFFANIE C
805 KERNODLE ST
ROCKWALL, TX 75087

ORTIZ ENRIQUE AROZLA
805 N FANNIN ST
ROCKWALL, TX 75087

AUSTIN TRENTON C
806 AUSTIN ST
ROCKWALL, TX 75087

LAWRENCE RUSSELL W AND KELLY D
806 KERNODLE ST
ROCKWALL, TX 75087

DEL BOSQUE MARIO ETUX
807 KERNODLE ST
ROCKWALL, TX 75087

MEJIA JULIO & MARIA R
807 N FANNIN ST
ROCKWALL, TX 75087

CASTRO RENE & BETSY
808 AUSTIN
ROCKWALL, TX 75087

LABARRE THAD & PATRICIA
808 KERNODLE
ROCKWALL, TX 75087

KINDRED ROBERT M
809 AUSTIN
ROCKWALL, TX 75087

JOSEY BROOKE
810 KERNODLE ST
ROCKWALL, TX 75087

JENNINGS AMANDA L
811 AUSTIN ST
ROCKWALL, TX 75087

WILSON CHARLES W
900 N FANNIN ST
ROCKWALL, TX 75087

CROWDER GERALDINE
901 N FANNIN ST
ROCKWALL, TX 75087

FINK BEVERLY A & ROYCE G
902 N FANNIN STREET
ROCKWALL, TX 75087

HEMPHILL REBECCA
903 N FANNIN ST
ROCKWALL, TX 75087

HALL WYNNE &
JOANN CAMPBELL
904 N FANNIN ST
ROCKWALL, TX 75087

ROSS THOMAS II & LACY
905 N FANNIN ST
ROCKWALL, TX 75087

WILLIAMS BROOKS
906 FANNIN STREET
ROCKWALL, TX 75087

ROE JOHN A AND PATRICIA K
907 N FANNIN ST
ROCKWALL, TX 75087

BIRT PAUL G & CHRISTI ANA
908 NORTH FANNIN STREET
ROCKWALL, TX 75087

J J M B INVESTMENT LP
909 FANNIN
ROCKWALL, TX 75087

BELANGER CORKY
921 N ALAMO RD
ROCKWALL, TX 75087

ALLEN MARK C AND
DONNA K BOYD
956 CHAD WAY
ROCKWALL, TX 75087

MISER RALPH C
993 HOLLI LN
ROCKWALL, TX 75087

DOOLEY RHONDA N
995 HOLLI
ROCKWALL, TX 75087

MESSENGER BARNARD A & BONNIE
998 HOLLI LN
ROCKWALL, TX 75087

KINDRED ROBERT M
P.O. BOX 261638
PLANO, TX 75026

PEOPLES MICHAEL L &
LINDA CAUBLE
PO BOX 41
ROCKWALL, TX 75087

J J M B INVESTMENT LP
PO BOX 460247
GARLAND, TX 75046

AWAJA PROPERTIES LLC
PO BOX 811
ROYSE CITY, TX 75189



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-022: SUP for Detached Garage for 803 Kernodle Street

Hold a public hearing to discuss and consider a request by Brad Johnson for the approval of a Specific Use Permit (SUP) for Detached Garage that exceeds the maximum square footage on a 0.666-acre parcel of land identified as Block 38 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 803 Kernodle Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 6/9/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 6/15/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

Your comments must be received by **6/15/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

PLEASE RETURN THE BELOW FORM

Case No. Z2020-022: SUP for Detached Garage for 803 Kernodle Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: _____
Address: _____

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
 I am opposed to the request for the reasons listed below.

Called FREEDOM

Name: TED FUNK

Address: 604 KERNADLE ROCKWALL TX. 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-022

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Garrett

Last Name *

Rice

Address *

202 E. Heath St.

City *

Rockwall

State *

TC

Zip Code *

75087

Email Address *

garrettrice77@gmail.com

Phone Number

214-762-9061

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: _____

This content is neither created nor endorsed by Google.

Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-022

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Tiffanie

Last Name *

Bushnell

Address *

805 Kernodle

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

tiffbushnell@sbcglobal.net

Phone Number

972-207-9624

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

This content is neither created nor endorsed by Google.

Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-022

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Respondent Information

Please provide your information.

First Name *

Brooke

Last Name *

Padachy

Address *

810 Kernodle

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

bpadachy@gmail.com

Phone Number

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: _____

This content is neither created nor endorsed by Google.

Google Forms

Gamez, Angelica

From: Keith Garrison <ndtbf@sbcglobal.net>
Sent: Saturday, May 30, 2020 7:23 AM
To: Planning
Subject: Z2020-22

I have no issue with the building of a detached garage at this location.

Keith Garrison

This email was scanned by Bitdefender

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Gamez, Angelica

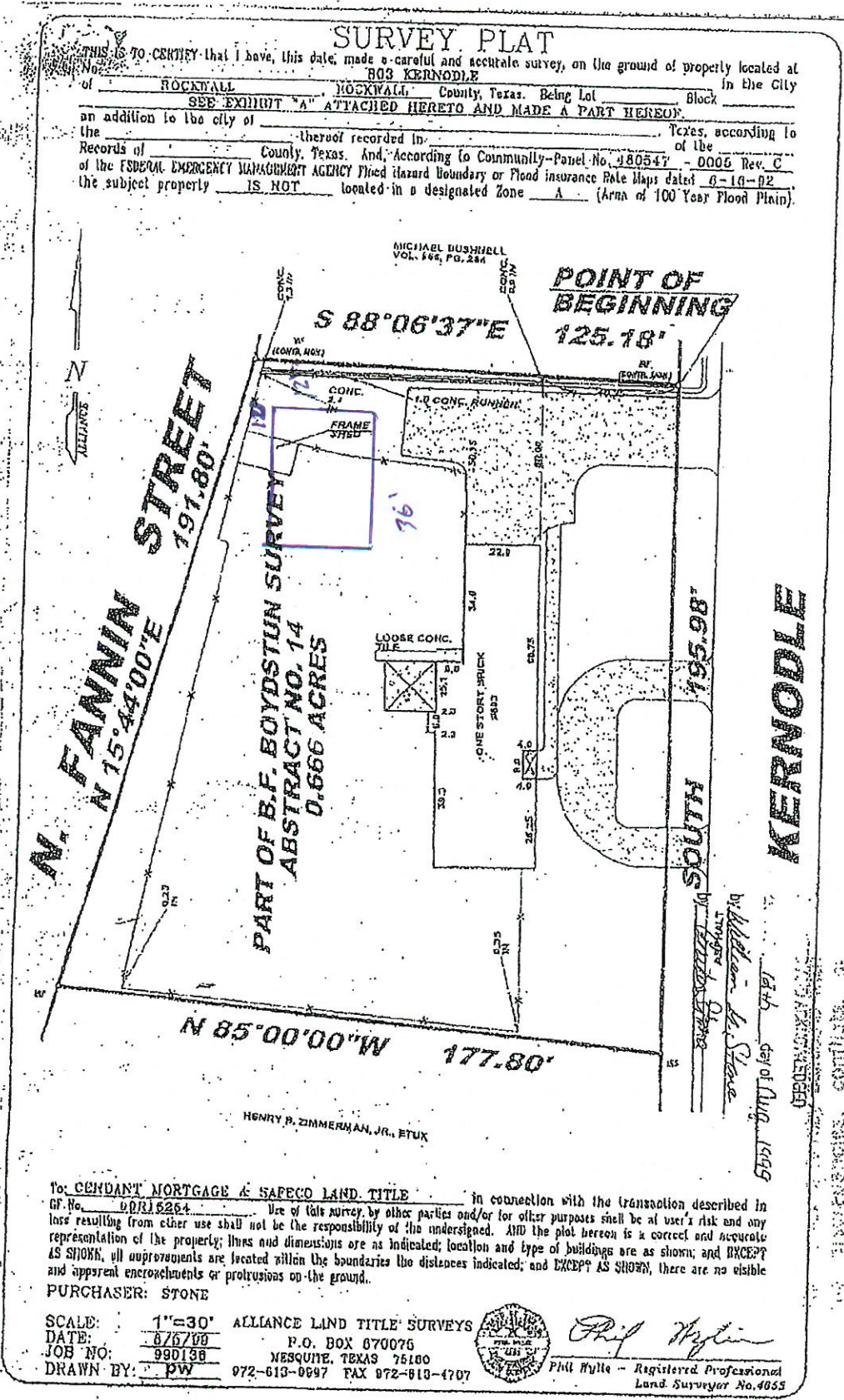
From: Elizabeth Trowbridge <e.trowbridge@att.net>
Sent: Thursday, June 4, 2020 4:46 PM
To: Planning
Subject: CASE Z2020-022

I AM IN FAVOR.

This email was scanned by Bitdefender

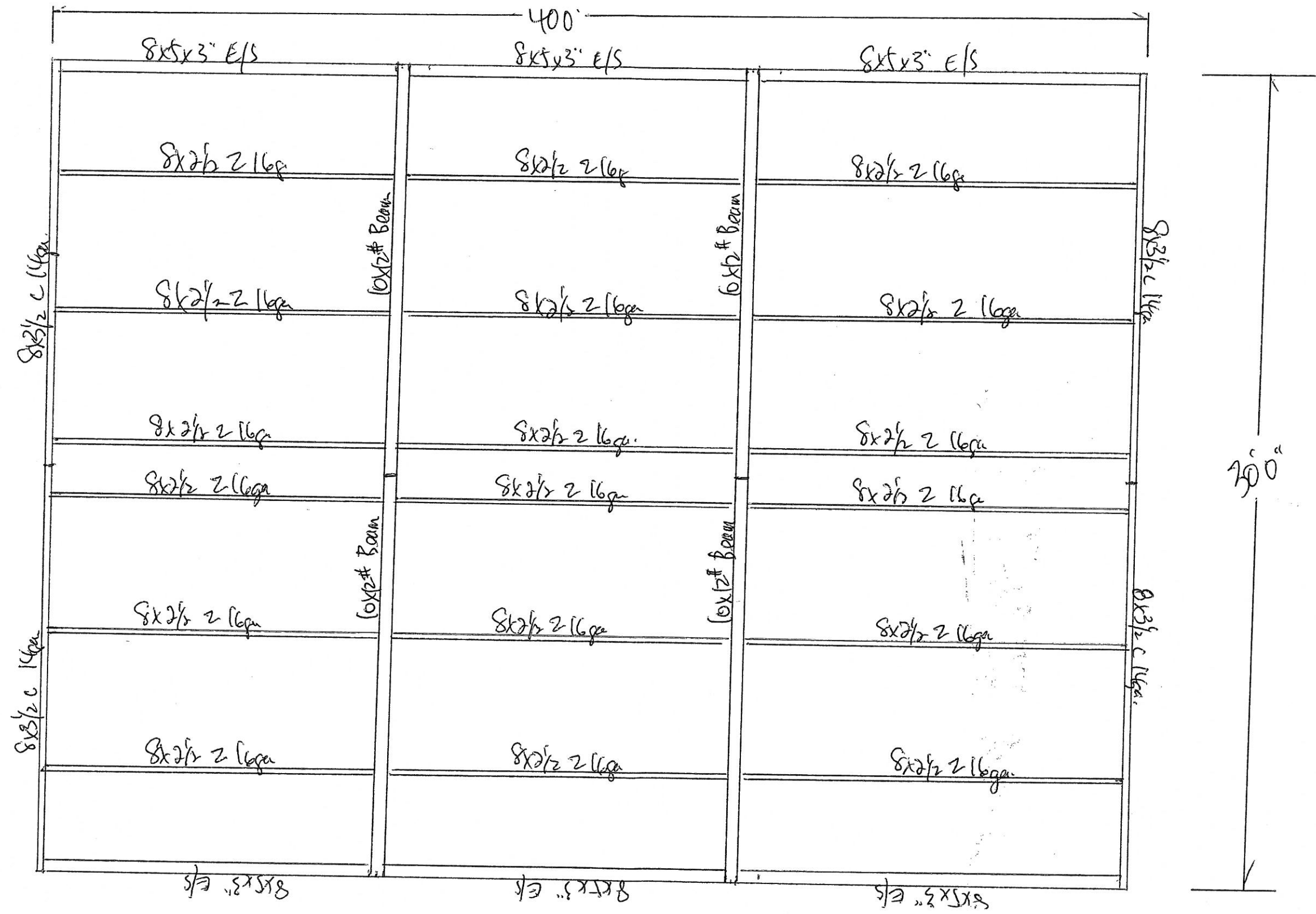
CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

10 feet from rear property line
 12 feet from North Property line
 36 feet from house



2020-022

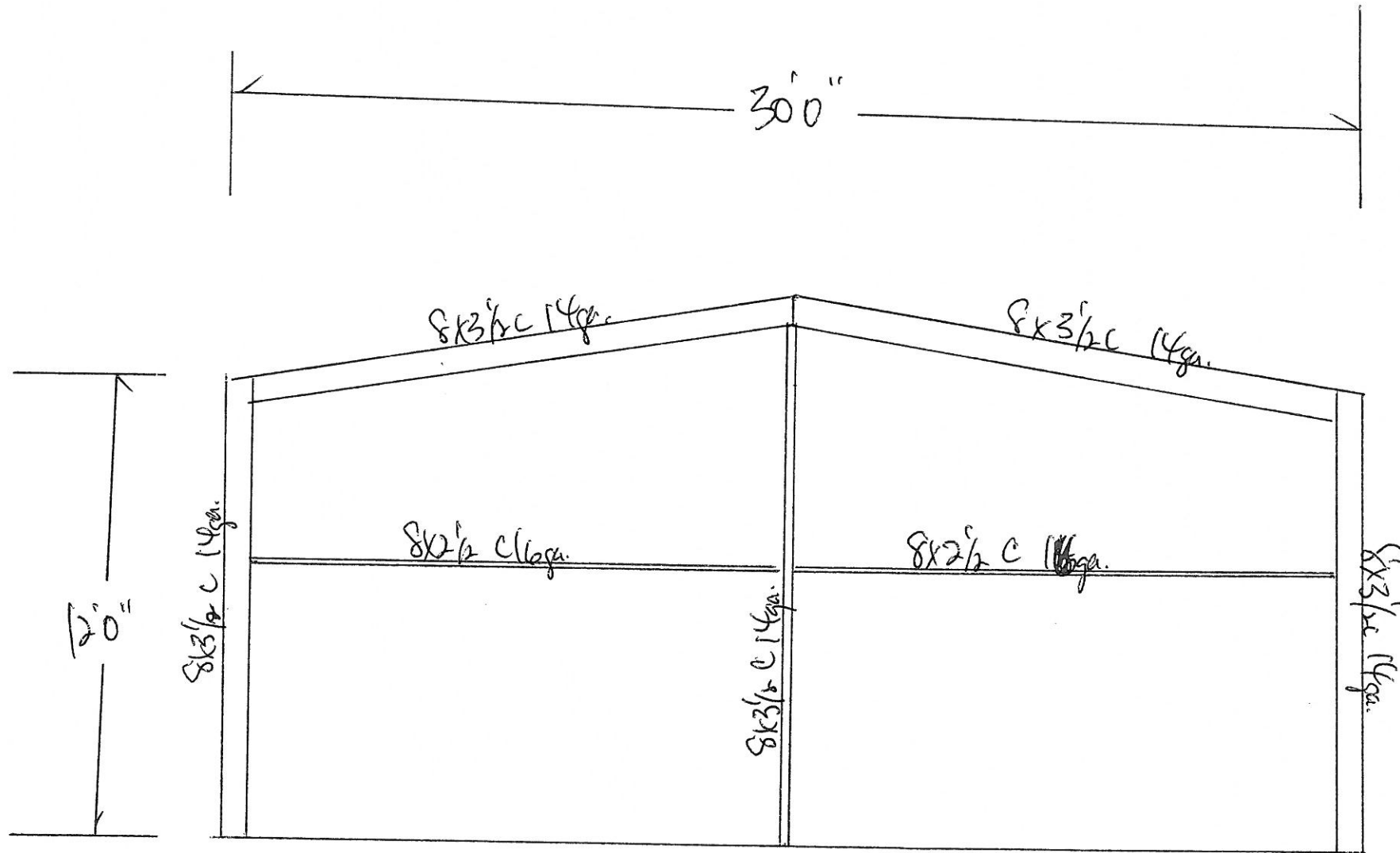
Brad Johnson Roof Framing



Boad Johnson 30x40x12

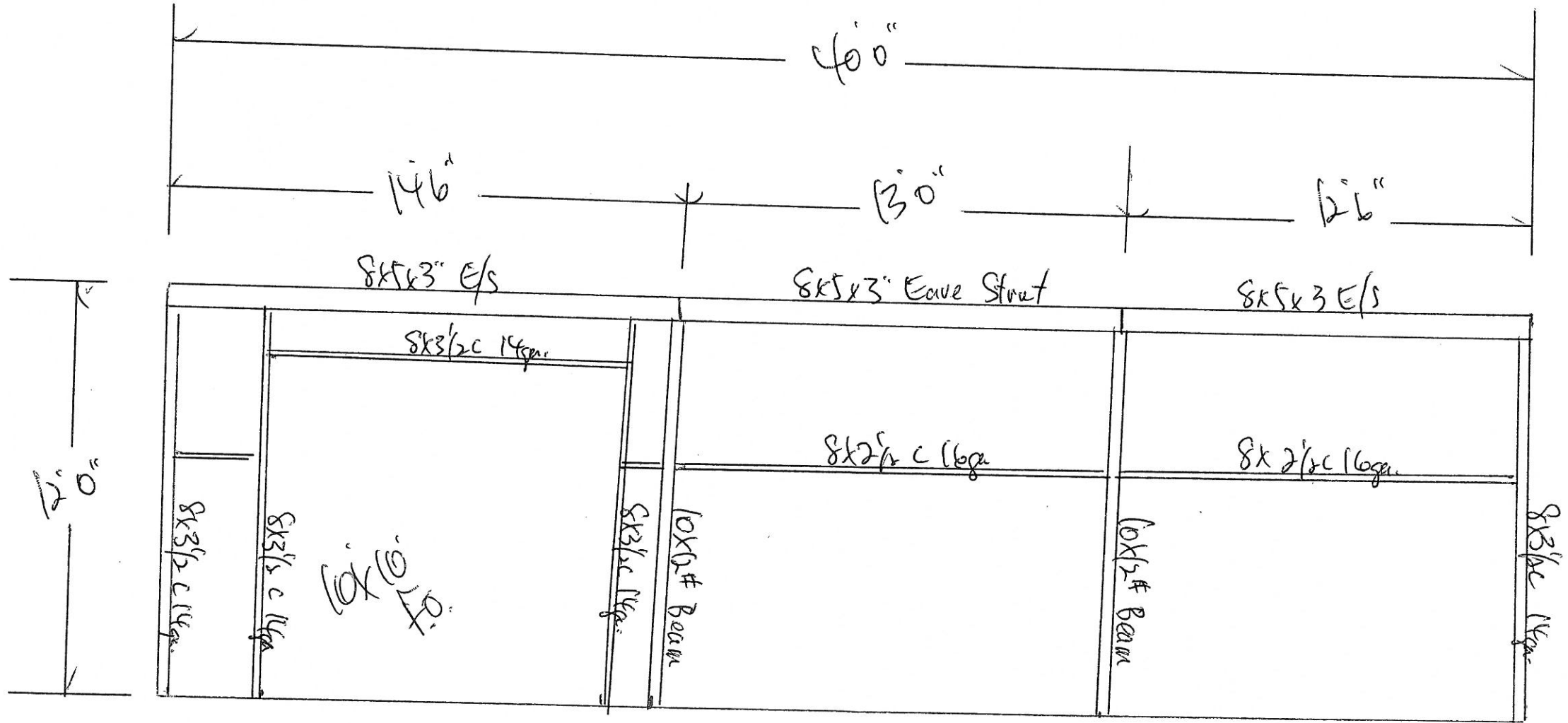
End Wall Framing

Both Walls Same



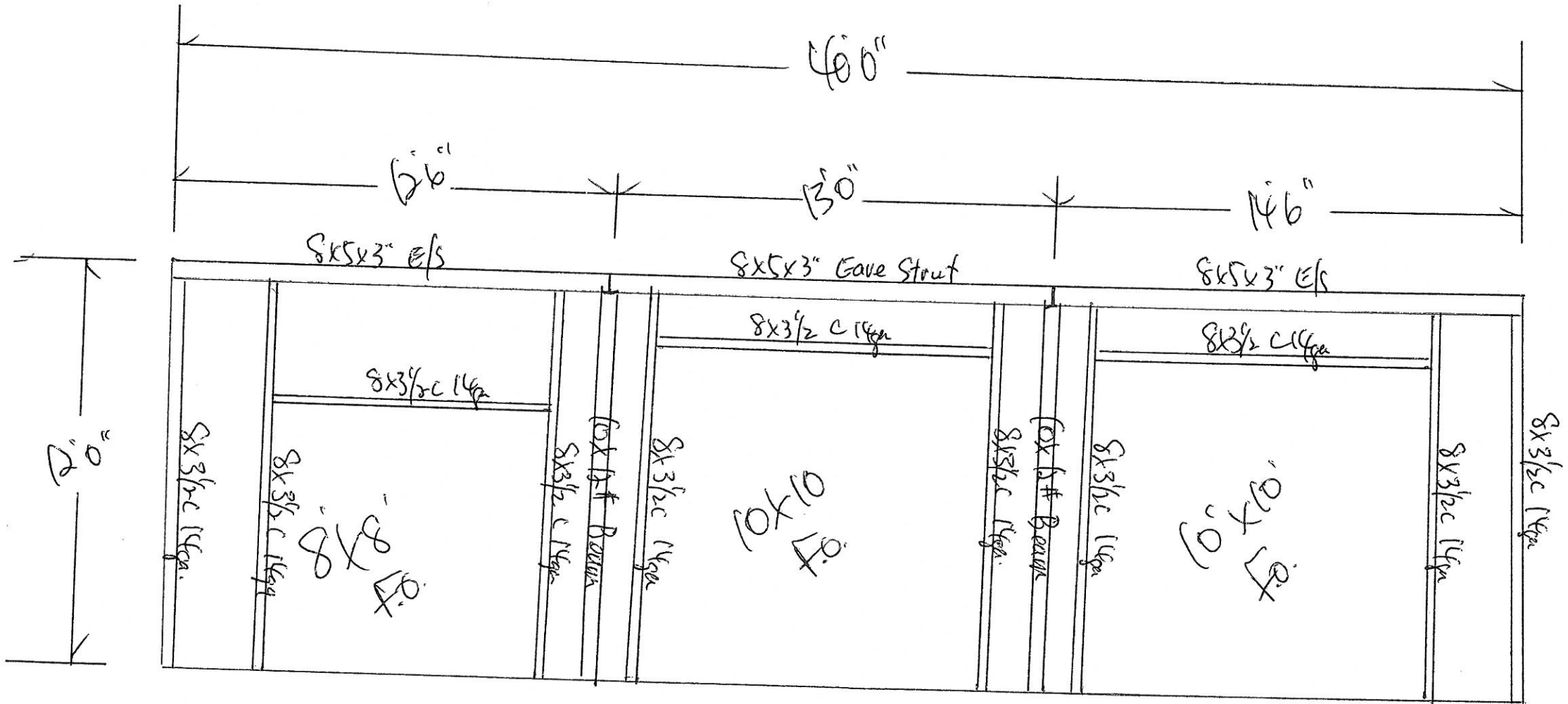
Brad Johnson 30x40x12

West Wall



Brad Johnson 30'40'12'

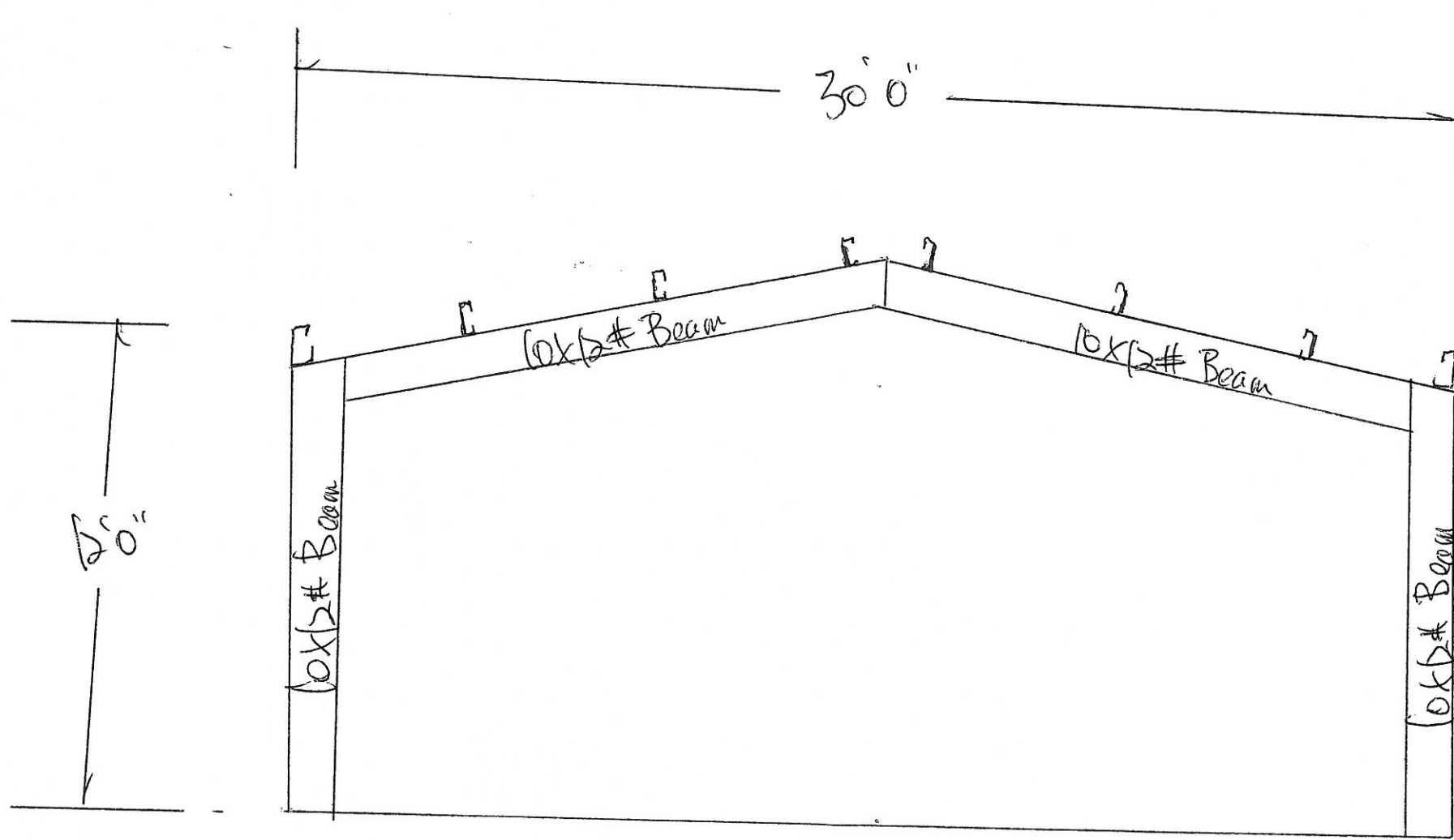
East Side Wall



Brad Johnson

Main Frame

Both Same



CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A *DETACHED GARAGE* THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.666-ACRE PARCEL OF LAND IDENTIFIED AS BLOCK 38 OF THE B. F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; MORE SPECIFICALLY DEPICTED AND DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brad Johnson for the approval of a Specific Use Permit (SUP) to allow a *Detached Garage* that exceeds the maximum allowable size on a 0.666-acre parcel of land identified as Block 38 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 803 Kernodle Street, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Detached Garage* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-20*] -- as heretofore amended and as may be amended in the future --, and to the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Detached Garage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Detached Garage* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Detached Garage* shall not exceed a maximum size of 1,200 SF.
- (3) The *Detached Garage* shall not exceed a maximum of 15-feet in total height.
- (4) The subject property shall not have more than one (1) accessory building.
- (5) Prior to the acceptance of the structure from the City, the applicant will be required to extend the existing driveway to the structure and provide a gate in the fence allowing the structure to function as a *Detached Garage*.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 6TH DAY OF JULY, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

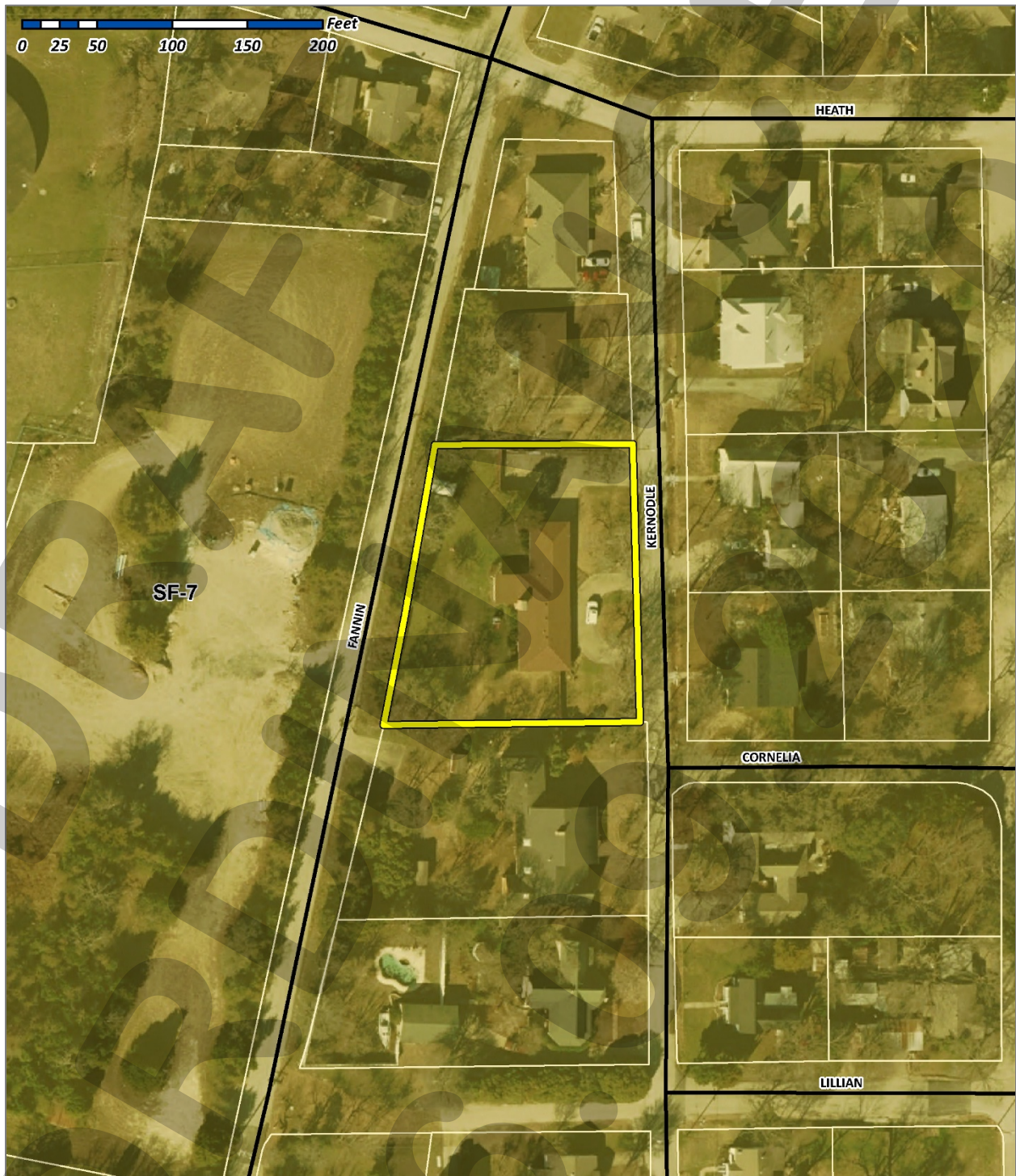
1st Reading: June 15, 2020

2nd Reading: July 6, 2020

Exhibit 'A'
Location Map

Address: 803 Kernodle Street

Legal Description: Block 38 of the B. F. Boydston Addition



**Exhibit 'B':
Concept Plan**

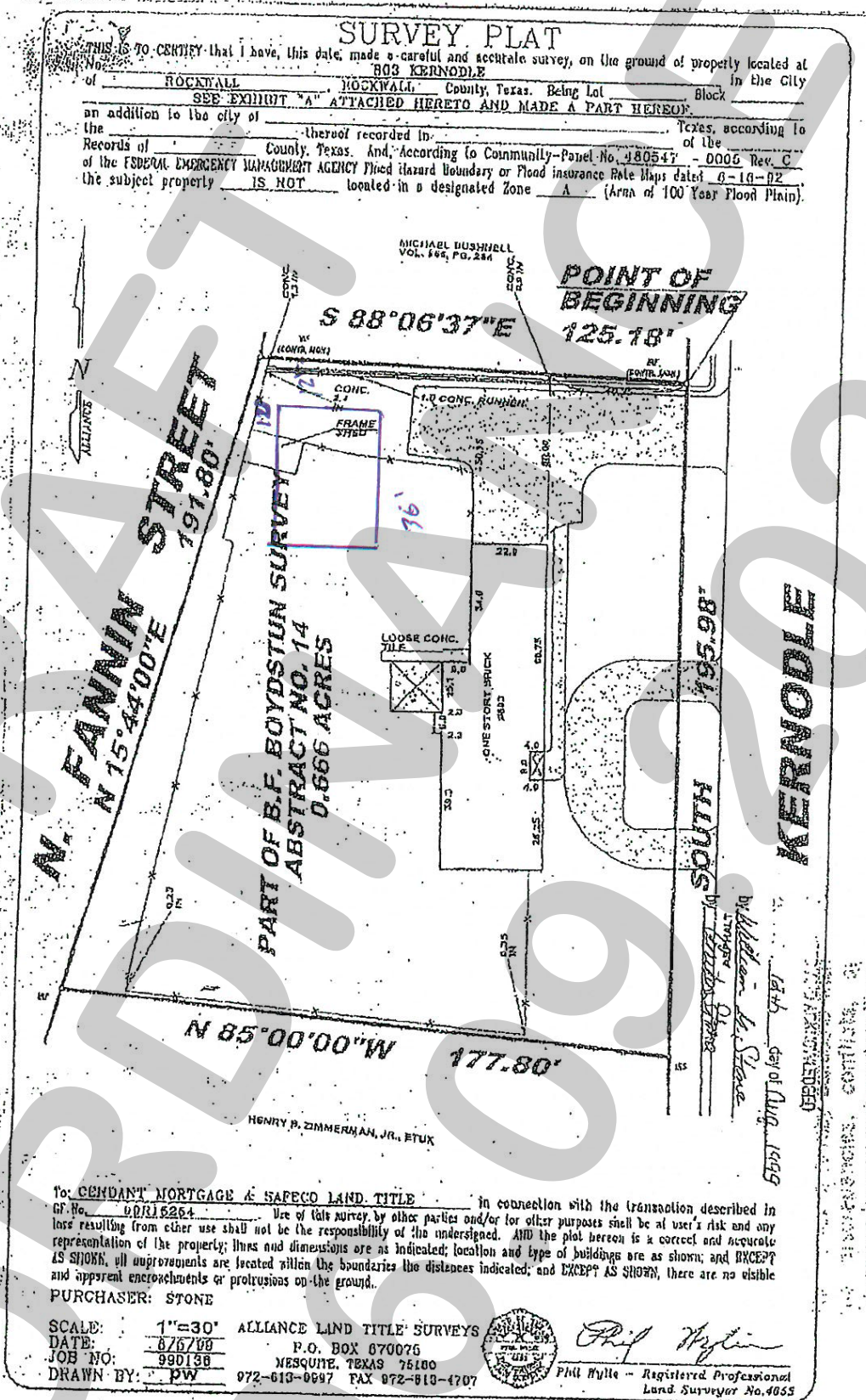
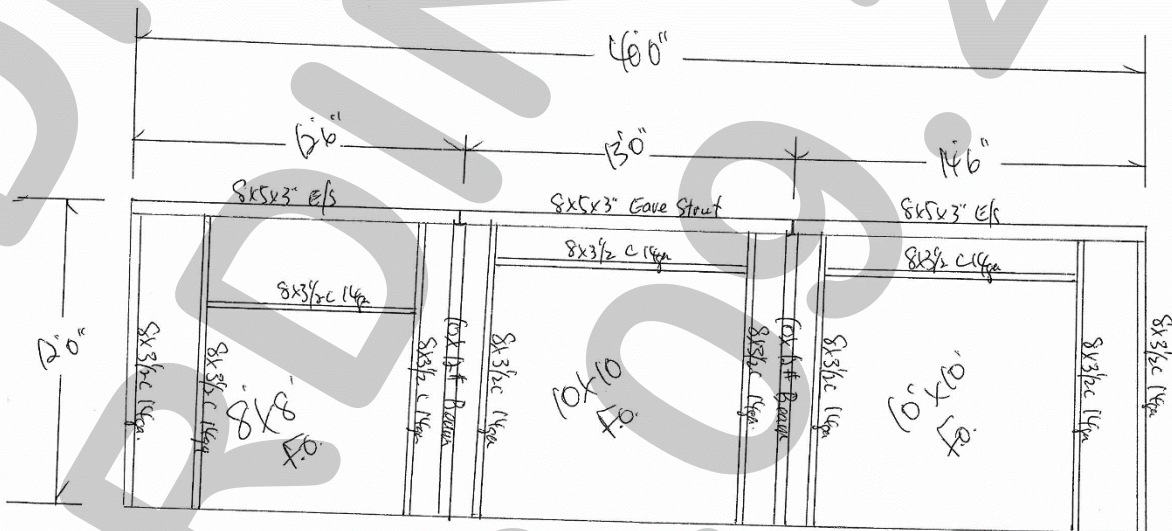
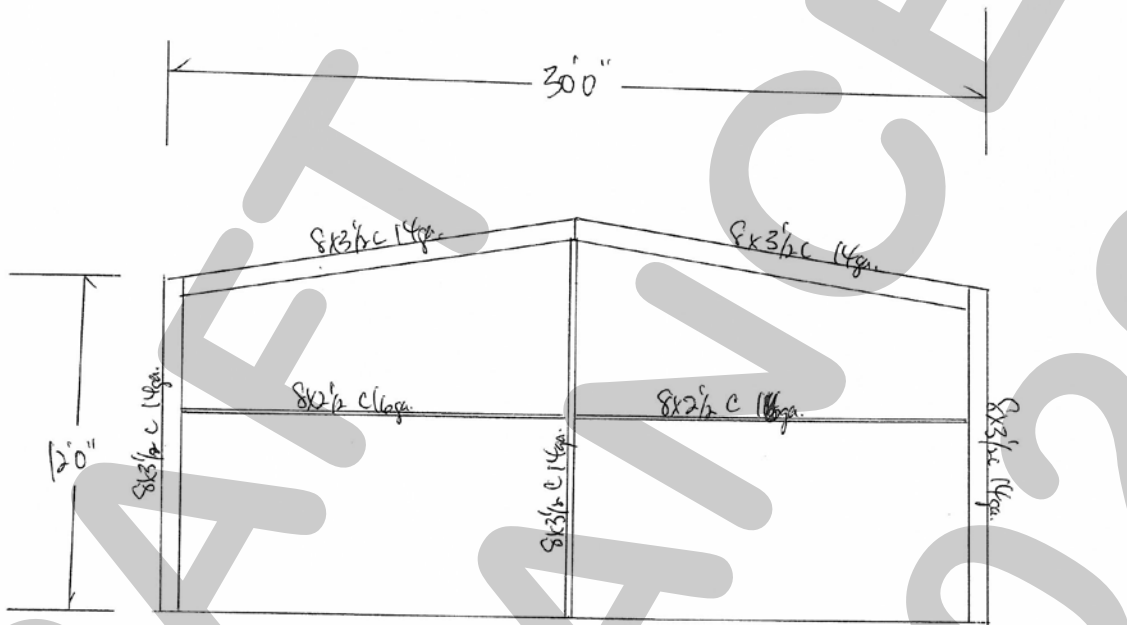


Exhibit 'C':
 Conceptual Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 9, 2020
APPLICANT: Angel Hernandez
CASE NUMBER: P2020-021; *Lots 1-5, Block A, Hernandez Addition (ETJ)*

SUMMARY

Discuss and consider a request by Angel Hernandez for the approval of a Preliminary Plat for Lots 1-5, Block A, Hernandez Addition being a ten (10) acre tract of land identified as Tract 8-05 of the J. Merriman Survey, Abstract No. 155, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 3533 Backland Road, and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting to preliminary plat a ten (10) acre tract of land (*i.e. Tract 8-05 of the J. Merriman Survey, Abstract No. 155*) into five (5) lots (*i.e. Lots 1-5, Block A, Hernandez Addition*) for the purpose of establishing a lot layout for a single-family residential development. The subject property is addressed as 3533 Backland Road, and is situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall.
- ☑ The purpose of the *preliminary plat* is to provide sufficient information to evaluate and review the general design of the development ensuring compliance with Chapter 38, *Subdivisions*, of the City's Municipal Code of Ordinances, the City's *Standards of Design and Construction Manual*, and *Exhibit 'A', Subdivision Regulations for Review of Plats in the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall*, of the *Interim Interlocal Agreement* between Rockwall County and the City of Rockwall. The proposed preliminary plat does not meet the intent and stated purpose for development of the site.
- ☑ The proposed subdivision of the lots for the subject property are required to meet the applicable subdivision regulations established in *Exhibit 'A'* of the *Interim Interlocal Cooperation Agreement* between Rockwall County and the City of Rockwall.
- ☑ The surveyor has not completed the technical revisions requested by staff, and this preliminary plat as submitted to staff does not conform to the requirements for plats as stipulated by the Chapter 38, *Subdivisions*, of the *Municipal Code of Ordinances* and *Exhibit 'A'* of the *Interim Interlocal Cooperation Agreement* between Rockwall County and the City of Rockwall, and is recommended for denial.
- ☑ Denial of this plat by the City Council should indicate a denial without prejudice to allow the applicant the ability to resubmit the plat in conformance to the technical requirements stipulated by the *Interim Interlocal Agreement*.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of a preliminary plat for *Lots 1-5, Block A, Hernandez Addition*, staff would propose the following conditions to be met for the approval of the preliminary plat:

- (1) All technical comments from City Staff (*i.e. Engineering, Planning and Fire Department*) and Rockwall County shall be addressed prior to submittal of civil engineering plans.

- (2) The applicant must provide a *Will Serve* letter from Blackland Water Supply Company for City approval of the water source for the subject property.
- (3) The applicant must provide a letter from Rockwall County for issuance of septic system permit; however, the roadway is required to be constructed and accepted prior to issuance of the septic permit.
- (4) The applicant shall be required to dedicate the sufficient space for a cul-de-sac at the end of the public right-of-way per the Engineering Department's *Standards of Design and Construction Manual*.
- (5) Submittal and approval of a final plat is required prior to construction of the roadway adjacent to the proposed residential lots.
- (6) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. P2020-021

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 3517 Blackland Rd Royse City, TX 75189
 Subdivision _____ Lot _____ Block _____
 General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	Current Use
Proposed Zoning	Proposed Use
Acreage <u>10</u>	Lots [Current] _____
	Lots [Proposed] _____

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner	<u>Angel Hernandez</u>	<input type="checkbox"/> Applicant	
Contact Person	" "	Contact Person	
Address	<u>593 Sun Valley dr</u>	Address	
City, State & Zip	<u>Fate, TX 75189</u>	City, State & Zip	
Phone	<u>214-713-6259</u>	Phone	
E-Mail	<u>angel.hernandez4191@gmail.com</u>	E-Mail	

NOTARY VERIFICATION [REQUIRED] Angel Hernandez, Daniel Hernandez, Ewing Hilaris

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 500.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 15 day of May, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 15 day of May, 2020

[Signature] Owner's Signature



Notary Public in and for the State of Texas Elizabeth A Morgan

My Commission Expires 02-28-2021



P2020-021- LOTS 1 - 5, BLOCK A,
 HERNANDEZ ADDITION
 PLAT - LOCATION MAP = [icon]



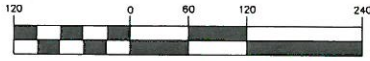
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

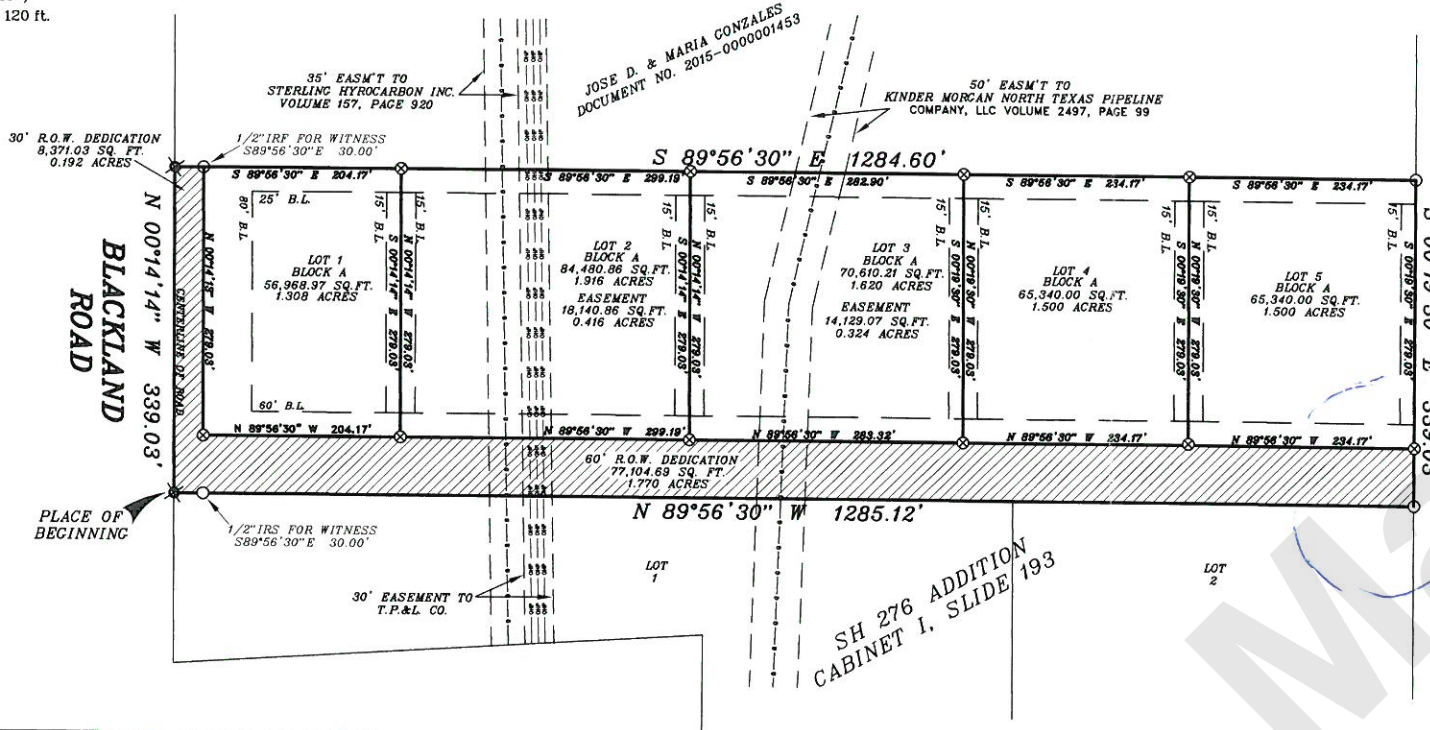
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



GRAPHIC SCALE



(IN FEET)
1 inch = 120 ft.



PROPERTY DESCRIPTION

STATE OF TEXAS,
COUNTY OF ROCKWALL:
WHEREAS DANIEL HERNANDEZ, Being the owner of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:
ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE J. MERRIMAN SURVEY, ABSTRACT NO. 155, ROCKWALL COUNTY, TEXAS, BEING KNOWN AS THAT TRACT DESCRIBED IN DEED TO DANIEL, ELVIRA AND ANGEL HERNANDEZ RECORDED IN DOCUMENT NO. 2015-000003462, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS, AND BEING DESCRIBED BY MEETS AND BOUNDS AS FOLLOWS:
BEGINNING AT A 60 D NAIL FOUND FOR CORNER NEAR THE CENTER OF BLACKLAND ROAD, SAID POINT BEING THE RECOGNIZED SOUTHWEST CORNER OF SAID HERNANDEZ TRACT AND THE RECOGNIZED NORTHWEST CORNER OF LOT 1 OF SH 276 ADDITION, AN ADDITION TO ROCKWALL COUNTY, RECORDED IN CABINET I, SLIDE 193, P.R.R.C.T., FROM WHICH A 1/2 INCH IRON ROD FOUND WITH YELLOW CAP STAMPED BG&A RPLS 5569 FOR WITNESS BEARS SOUTH 89 DEGREES 56 MINUTES 30 SECONDS EAST - 30.00 FEET;
THENCE NORTH 00 DEGREES 14 MINUTES 14 SECONDS WEST, WITHIN SAID BLACKLAND ROAD AND ALONG SAID WEST LINE OF HERNANDEZ TRACT, A DISTANCE OF 339.03 FEET TO A 60D NAIL FOUND FOR CORNER, SAID POINT BEING THE RECOGNIZED NORTHWEST CORNER OF SAID HERNANDEZ TRACT AND THE APPARENT SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO JOSE D. AND MARIA GONZALES, RECORDED IN DOCUMENT NO. 2015-000001453, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS;
THENCE SOUTH 89 DEGREES 56 MINUTES 30 SECONDS EAST, ALONG THE RECOGNIZED NORTH LINE OF SAID HERNANDEZ TRACT PASSING A 1/2 INCH IRON ROD FOUND FOR WITNESS AT 30.00 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 1284.60 FEET TO A 1/2 INCH IRON ROD FOUND FOR CORNER IN THE APPARENT WEST LINE OF A TRACT OF LAND DESCRIBED IN DEED TO DAVID CRAWFORD, RECORDED IN VOLUME 4345, PAGE 220, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS, SAID POINT BEING THE RECOGNIZED NORTHEAST CORNER OF SAID HERNANDEZ TRACT AND THE APPARENT SOUTHWEST CORNER OF SAID GONZALES TRACT;
THENCE SOUTH 00 DEGREES 19 MINUTES 30 SECONDS EAST, ALONG THE APPARENT WEST LINE OF SAID CRAWFORD TRACT AND THE RECOGNIZED EAST LINE OF SAID HERNANDEZ TRACT, A DISTANCE OF 339.03 FEET TO A 1/2 INCH IRON ROD FOUND WITH YELLOW CAP STAMPED BG&A RPLS 5569 FOR CORNER, SAID POINT BEING THE RECOGNIZED SOUTHWEST CORNER OF SAID HERNANDEZ TRACT AND THE RECOGNIZED NORTHEAST CORNER OF LOT 2 OF SAID SH 276 ADDITION;
THENCE NORTH 89 DEGREES 56 MINUTES 30 SECONDS WEST, A DISTANCE OF 1285.12 FEET TO THE PLACE OF BEGINNING AND CONTAINING 435,600.00 SQUARE FEET OR 10,000 ACRES OF LAND.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
STATE OF TEXAS
COUNTY OF ROCKWALL

Turn-Around

I DANIEL HERNANDEZ, the undersigned owner(s) of the land shown on this plat, and designated herein as the HERNANDEZ ADDITION, an addition to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I MIL/WAY INVESTORS, LLC. further certify that all other parties who have a mortgage or lien interest in the HERNANDEZ ADDITION, subdivision have been notified and signed this plat. I DANIEL HERNANDEZ understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I DANIEL HERNANDEZ also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with the construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- 3. The County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- 6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the County of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the County of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the county's engineer and/or county administrator, computed on a private commercial rate basis, has been made with the county secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the county to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the county be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the county secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the county secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the council of the County of Rockwall.

I MIL/WAY INVESTORS, LLC. further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I MIL/WAY INVESTORS, LLC. my (our) successors and assigns hereby waive any claim, damage, or cause of action that I MIL/WAY INVESTORS, LLC. may have as a result of the dedication of exactions made herein.

Owner: DANIEL HERNANDEZ

By: DANIEL HERNANDEZ

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF ROCKWALL
Before me, the undersigned authority, on this day personally appeared DANIEL HERNANDEZ, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this _____ day of _____, 2017.
Notary Public in and for the State of Texas: _____ My Commission Expires: _____

SURVEYOR'S CERTIFICATE

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
That I, Brian D. Gallia, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and the corner monuments shown thereon were properly placed under my personal supervision.

EXECUTED THIS _____ 15TH DAY OF _____ MARCH _____ 2017

BRIAN GALLIA
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5569

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the County of Rockwall, Texas, was approved by the Commissioners Court of the County of Rockwall on the _____ day of _____, 2017.

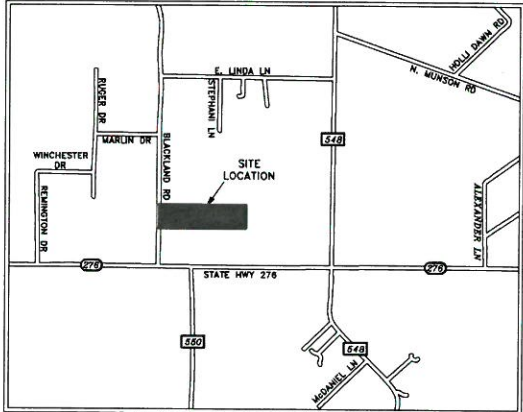
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, _____

Rockwall County Judge _____ Date _____

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF ROCKWALL
Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
Given upon my hand and seal of office this _____ day of _____, _____
Notary Public in and for the State of Texas: _____ My Commission Expires: _____



LEGEND

- R.O.W.-RIGHT-OF-WAY
- EASM'T-EASEMENT
- PFC-POINT FOR CORNER
- 60D NAIL SET/FOUND
- 1/2" IRON ROD SET
- 1/2" IRON ROD FOUND
- IRON ROD FOUND/SET (UNLESS OTHERWISE NOTED)
- ASPHALT PAVING

NOTE: THE LOCATION OF UNDERGROUND UTILITIES IF SHOWN HEREON ARE BASED ON ABOVEGROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES OR STRUCTURES. CALL 1-800-344-8377 (DIG TESS)

NOTE: EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS HEREON WERE SUPPLIED TO THE SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT WOULD AFFECT THIS PARCEL.

NOTE: ACCORDING TO THE F.I.R.M. IN COMMUNITY PANEL NO. 48397C0065L THIS PROPERTY APPEARS TO LIE IN ZONE X AND APPEARS NOT TO LIE WITHIN THE SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES, THIS FLOOD STATEMENT AND/OR FLOOD LINES SHOWN HEREON SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NOTE: BEARINGS ARE BASED ON SOUTH LINE OF DEED RECORDED IN DOC. NO. 2015000003462. THIS SURVEY IS NOT A REPRESENTATION OF WARRANTY OF TITLE OR GUARANTEE OF OWNERSHIP.

TEXAS LICENSED SURVEYING FIRM REGISTRATION NUMBER 10150300

~BRIAN GALLIA & ASSOCIATES~
BG&A Land Surveying, Inc.
9011 STATE HIGHWAY 34 S. SUITE - C
QUINLAN, TEXAS, 75474
PHONE: (903) 447-0658
FAX: (903) 447-0931
www.bgasurveying.com

NOTE: It shall be the policy of the County of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the County. The approval of a plat by the County does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit. Therefore, any approval issued, nor shall such approval constitute any representation, assurance or guarantee by the County of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

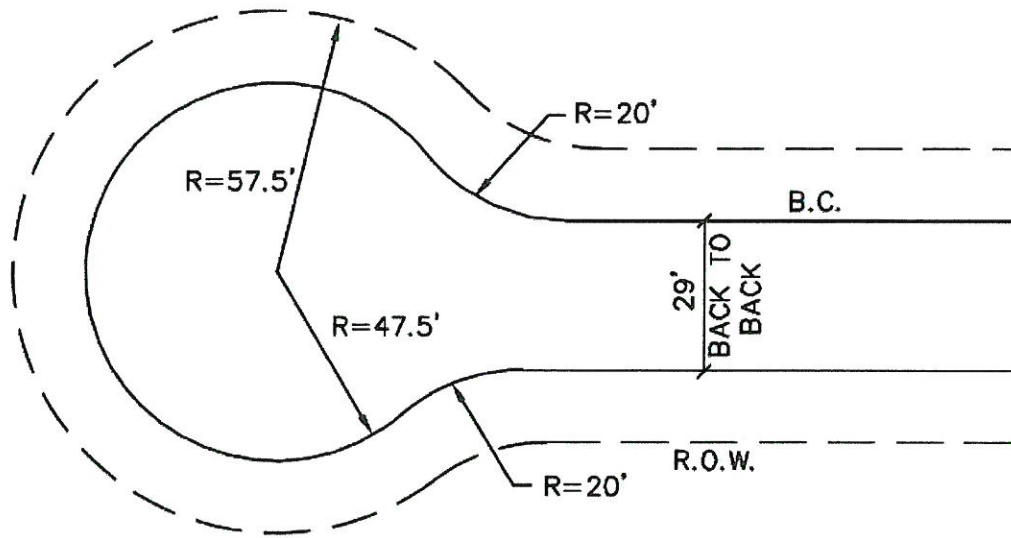
JOB NO. 1501111-2 CAD. TECH. P.OWEN

PRELIMINARY PLAT
HERNANDEZ ADDITION
LOTS 1 THRU 5, BLOCK A
BEING AN 10,000 ACRE TRACT OF LAND
J. MERRIMAN SURVEY, ABSTRACT NO. 155
ROCKWALL COUNTY, TEXAS
CASE NO. P2020-021

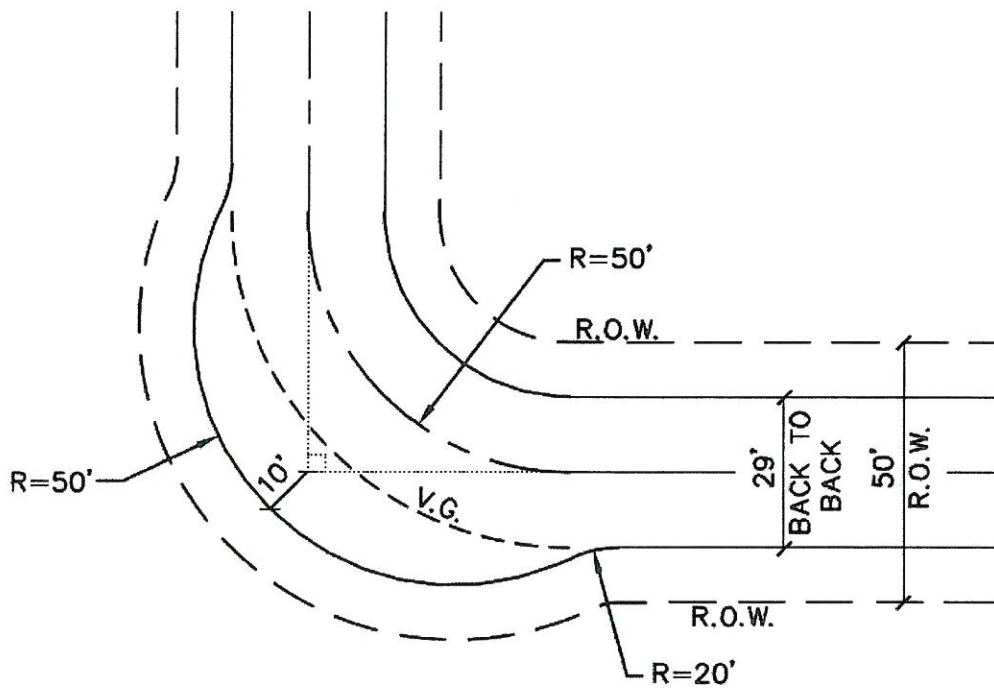
P2020-021

Standards of Design and Construction (2019)

Section 2.10



TYPICAL CUL-DE-SAC



TYPICAL EYEBROW

Figure 2.1C: Typical Thoroughfare Cross Sections

Project Plan Review History

Revision 1 Comments are Highlighted

Project Number P2020-021
Project Name Lots 1-5, Hernandez Addition
Type PLAT
Subtype PRELIMINARY
Status P&Z HEARING

Owner ANGEL HERNANDEZ
Applicant

Applied 5/15/2020 AG
Approved
Closed
Expired
Status 5/21/2020 DG

Site Address 3517 BLACKLAND RD
City, State Zip Royse City, Tx 75189

Zoning

Subdivision **Tract** **Block** **Lot No** **Parcel No** **General Plan**

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	5/15/2020	5/22/2020	5/18/2020	3	APPROVED	
ENGINEERING	Sarah Johnston	5/15/2020	5/22/2020	5/20/2020	5	COMMENTS	See Markup.

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(5/20/2020 1:49 PM SJ)						
M - All properties must have frontage on a City Street						
M - Roadway to be designed and constructed per City Standards						
M - All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.						
M - No dead-end streets, must have a turnaround or connection.						
M - Must confirm septic system availability with Rockwall County. Lots to be 1.5 acres minimum.						
M - Utilities are not to be in separate lots. They will be in an easement that is part of the property.						
The following items are for your information for engineering design						
- 4% Engineering Inspection Fees						
- Impact Fees						
- Engineering plan review fees apply.						
- No structures in easements. Min. easement width is 20'.						
- Required 10' utility easement required along all public street frontage						
- Alleys to be 20' ROW, 12' wide paving.						
- Must loop 8" water line on site. No dead-end lines allowed.						
- Water to be serviced by Blackland Water Supply. They currently do not have any additional water taps allowed per the facilities agreement with Rockwall						
- Detention is required if you increase the flow off the property. Drainage areas larger than 20 acres will need a detention study. Review fees apply.						
- No lot-to-lot drainage allowed.						
- No vertical walls are allowed in detention easements						
- Retaining walls 3' and taller must be designed by a structural engineer.						
- All walls must be rock or stone face. No smooth concrete walls.						
- No trees within 10' of non-steel encased public utilities.						
- Must meet driveway spacing requirements						
- Must meet City of Rockwall Standards of Design.						
ENGINEERING	Sarah Johnston	6/3/2020	6/10/2020	6/4/2020	1 COMMENTS	Revision 1 Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>(6/4/2020 2:19 PM SJ)</p> <p>M - Roadway to be designed and constructed per City Standards</p> <p>M - All streets to be concrete. 50' ROW, 29' back-to-back paving. Streets must be curb and gutter style. No asphalt or rock streets.</p> <p>M - No dead-end streets, must have a turnaround or connection.</p> <p>M - Must confirm septic system availability with Rockwall County. Lots to be 1.5 acres minimum.</p> <p>The following items are for your information for engineering design</p> <ul style="list-style-type: none"> - 4% Engineering Inspection Fees - Impact Fees - Engineering plan review fees apply. - No structures in easements. Min. easement width is 20'. - Required 10' utility easement required along all public street frontage - Alleys to be 20' ROW, 12' wide paving. - Must loop 8" water line on site. No dead-end lines allowed. - Water to be serviced by Blackland Water Supply. They currently do not have any additional water taps allowed per the facilities agreement with Rockwall - Detention is required if you increase the flow off the property. Drainage areas larger than 20 acres will need a detention study. Review fees apply. - No lot-to-lot drainage allowed. - No vertical walls are allowed in detention easements - Retaining walls 3' and taller must be designed by a structural engineer. - All walls must be rock or stone face. No smooth concrete walls. - No trees within 10' of non-steel encased public utilities. - Must meet driveway spacing requirements - Must meet City of Rockwall Standards of Design. 						
FIRE	Ariana Hargrove	5/15/2020	5/22/2020	5/19/2020	4 APPROVED	
FIRE	Ariana Hargrove	6/3/2020	6/10/2020	6/3/2020	APPROVED	Revision 1 comments-see note
<p>(6/3/2020 3:53 PM SK)</p> <p>Note: Water supply for fire protection must be provided in accordance with the adopted Fire Code prior to construction of any buildings.</p>						
GIS	Lance Singleton	5/15/2020	5/22/2020			
PLANNING	David Gonzales	5/15/2020	5/22/2020	5/21/2020	6 COMMENTS	See comments

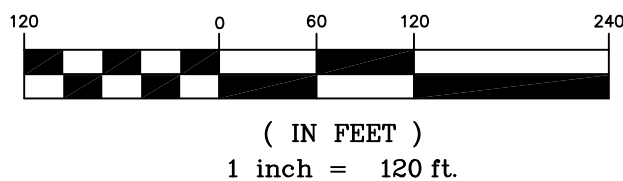
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
P2020-021; Preliminary Plat for Lots 1-5, Block A, Hernandez Addition - ETJ						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a Preliminary Plat for Lots 1-5, Block A, Hernandez Addition being a ten (10) acre tract of land identified as Tract 8-05 of the J. Merriman Survey, Abstract No. 155, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 3533 Backland Road.						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (P2020-021) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).						
I.4 This project is subject to all requirements stipulated by the Interim Interlocal Cooperation Agreement for Subdivision Regulation between Rockwall County and the City of Rockwall and is applicable to the subject property.						
M. 5 Please refer to the mark-ups on the Checklist for Plat Submittals provided by staff as found in the Interim Interlocal Cooperative Agreement for Subdivision Regulation document and make the following corrections and/or provide a statement for each of the following items						
a) Case number						
b) Title Block						
c) Lot and Block						
d) Building Setbacks						
e) Easements						
f) Utilities						
g) Streets						
h) Right-of-Way and Centerline						
i) Additional Right-of-Way						
j) Corner Clips						
k) Topographical Contours						
l) Drainage Areas						
m) Wooded Areas						
n) Proposed Improvements						
o) Water Sources						
p) Sewage Disposal						
q) Statement of Service						
r) Dedication						
s) Standard Plat Wording						
t) Plat Approval Signatures						
M.6 Please provide two (2) large copies [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.						
I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested.						
I.8 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing.						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
<p>I.9 The Planning and Zoning Work Session Meeting will be held on May 26, 2020.</p> <p>I.10 The Planning and Zoning Regular Meeting will be held on June 9, 2020.</p> <p>I.11 The City Council meeting for this case is scheduled to be held on June 15, 2020.</p> <p>I.12 IN LIEU OF ATTENDING IN PERSON AND IN AN EFFORT TO COMPLY WITH CDC RECOMMENDATIONS REGARDING SOCIAL DISTANCING SPECIAL NOTES PERTAINING TO "REMOTELY" OR "VIRTUALLY" PARTICIPATING IN THE PLANNING AND ZONING COMMISSION WORK SESSION MEETING WILL BE PROVIDED TO APPLICANTS PRIOR TO THE SCHEDULED MEETING. ALL MEETINGS WILL BE HELD IN THE CITY'S COUNCIL CHAMBERS AND BEGIN AT 6:00 P.M. PLEASE CONTACT STAFF SHOULD YOU HAVE ANY QUESTIONS.</p>							
PLANNING	David Gonzales	6/3/2020	6/10/2020	6/4/2020	1	COMMENTS	Revision 1

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>(6/4/2020 4:49 PM DG) P2020-021; Revision 1 Preliminary Plat for Lots 1-5, Block A, Hernandez Addition - ETJ Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p> <p>I.1 This is a request for the approval of a Preliminary Plat for Lots 1-5, Block A, Hernandez Addition being a ten (10) acre tract of land identified as Tract 8-05 of the J. Merriman Survey, Abstract No. 155, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 3533 Backland Road.</p> <p>I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.</p> <p>I.3 This project is subject to all requirements stipulated by the Interim Interlocal Cooperation Agreement for Subdivision Regulation between Rockwall County and the City of Rockwall and is applicable to the subject property.</p> <p>M. 4 Please refer to the mark-ups on the Checklist for Plat Submittals provided by staff as found in the Interim Interlocal Cooperative Agreement for Subdivision Regulation document and make the following corrections and/or provide a statement for each of the following items</p> <p>a) Topographical Contours– 2-ft contours b) Drainage Areas c) Proposed Improvements d) Water Sources– Must provide a Will Serve letter from Blackland for City approval of water source e) Sewage Disposal– Must provide a letter from Rockwall County for issuance of septic system permit. The roadway is required to be constructed and accepted prior to issuance of a septic permit. f) Dedication - Provide all language as indicated under Section 5, Certification and Dedication Language, (a) Owners Certification, of Exhibit 'A', Subdivision Regulations for Review of Plats in the ETJ of the Interim Interlocal Agreement g) Standard Plat Wording - Provide all language as indicated under Section 5, Certification and Dedication Language, (a) Owners Certification, of Exhibit 'A', Subdivision Regulations for Review of Plats in the ETJ of the Interim Interlocal Agreement h) Plat Approval Signatures– See the Signature Block as indicated under Section 5, Certification and Dedication Language, (d) Signature Block, of Exhibit 'A', Subdivision Regulations for Review of Plats in the ETJ of the Interim Interlocal Agreement</p> <p>M.5 Please provide one (1) large copy [18" X 24" FOLDED] and one PDF version for a subsequent/final review by staff.</p> <p>I.6 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing</p> <p>M.7 Once staff has approved the plat for filing the mylar copies must be signed by the Rockwall County Judge prior to staff accepting the plat for filing purposes</p> <p>I.8 The Planning and Zoning Regular Meeting will be held on June 9, 2020.</p> <p>I.9 The City Council meeting for this case is scheduled to be held on June 15, 2020.</p> <p>I.10 THE ROCKWALL PLANNING AND ZONING COMMISSION MEETING WILL BE HELD IN-PERSON AT ROCKWALL CITY HALL; HOWEVER, AS AN ALTERNATIVE TO ATTENDING THE MEETINGS APPLICANTS MAY JOIN REMOTELY VIA ZOOM (AUDIO PARTICIPATION ONLY). ALL MEETINGS WILL BE HELD IN THE CITY'S COUNCIL CHAMBERS AND BEGIN AT 6:00 P.M. PLEASE CONTACT STAFF SHOULD YOU HAVE ANY QUESTIONS</p>						
Rockwall County	David Gonzales	5/26/2020	6/5/2020	5/26/2020	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(5/26/2020 1:45 PM DG) Per Ron Merritt via email dated 05.26.2020: Preliminary plat> Lots 2 and 3 do appear to not meet the 1 ½ acre net rule because of easements The access easement is only 20 Ft. I was told that the first 3 lots all belong to family and the back 2 will be sold. That means that this should be at least a 26 ft concrete street						
Rockwall County (6/3/2020 10:17 AM DG) Comments from Ron Merritt with Rockwall County via email 06.03.2020: Im good with the lot sizes even though the front lot is a little shy	David Gonzales	6/3/2020	6/13/2020	6/3/2020	COMMENTS	Revision 1 comments

GRAPHIC SCALE



(IN FEET)

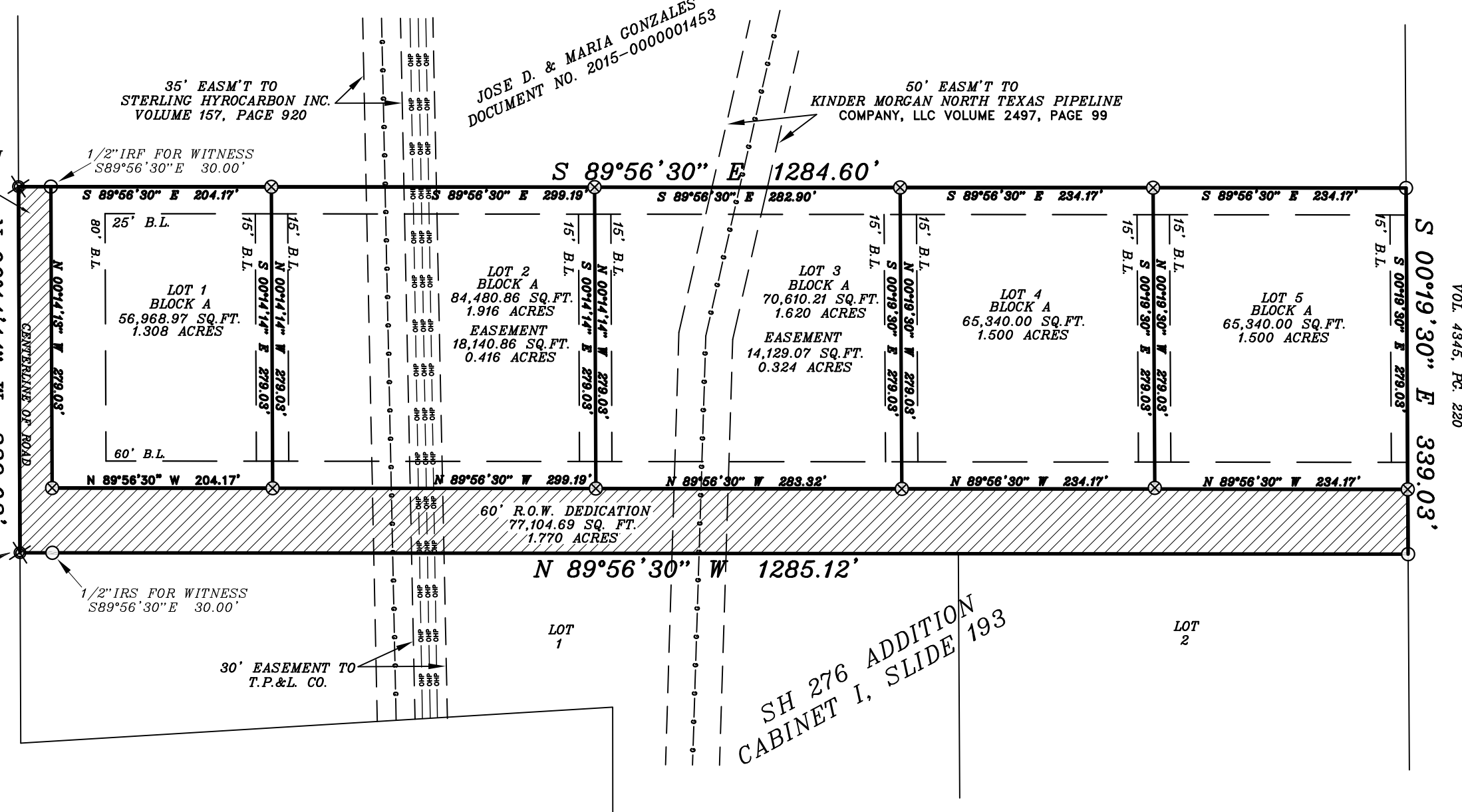
1 inch = 120 ft.



30' R.O.W. DEDICATION
8,371.03 SQ. FT.
0.192 ACRES

BLACKLAND ROAD

PLACE OF BEGINNING

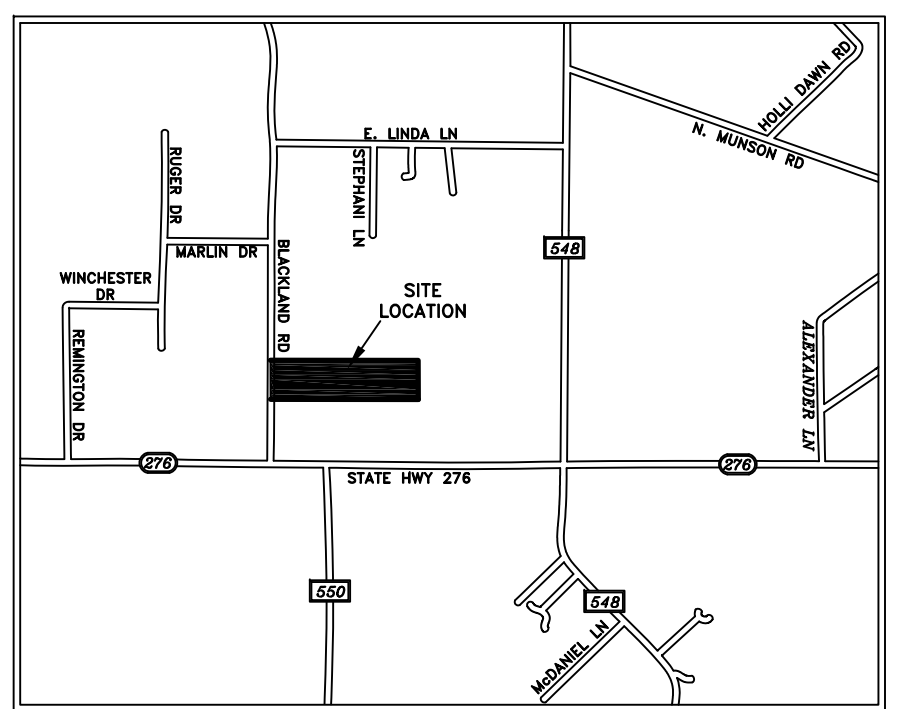


JOSE D. & MARIA GONZALES
DOCUMENT NO. 2015-000001453

50' EASM'T TO
KINDER MORGAN NORTH TEXAS PIPELINE
COMPANY, LLC VOLUME 2497, PAGE 99

DAVID CRAWFORD
VOL. 4345, PG. 220

SH 276 ADDITION
CABINET I, SLIDE 193



SURVEYOR'S CERTIFICATE

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
That I, Brian D. Gallia, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and the corner monuments shown thereon were properly placed under my personal supervision.

EXECUTED THIS 15TH DAY OF MARCH, 2017

BRIAN GALLIA
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5569

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the County of Rockwall, Texas, was approved by the Commissioners Court of the County of Rockwall on the _____ day of _____, 2017.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this _____ day of _____, _____

Rockwall County Judge _____ Date _____

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF ROCKWALL
Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas: _____ My Commission Expires: _____

PROPERTY DESCRIPTION

STATE OF TEXAS;
COUNTY OF ROCKWALL:
WHEREAS DANIEL HERNANDEZ, Being the owner of a tract of land in the County of Rockwall, State of Texas, said tract being described as follows:
ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE J. MERRIMAN SURVEY, ABSTRACT NO. 155, ROCKWALL COUNTY, TEXAS, BEING KNOWN AS THAT TRACT DESCRIBED IN DEED TO DANIEL, ELVIRA AND ANGEL HERNANDEZ RECORDED IN DOCUMENT NO. 2015-000003462, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS, AND BEING DESCRIBED BY MEETS AND BOUNDS AS FOLLOWS:

BEGINNING AT A 60 D NAIL FOUND FOR CORNER NEAR THE CENTER OF BLACKLAND ROAD, SAID POINT BEING THE RECOGNIZED SOUTHWEST CORNER OF SAID HERNANDEZ TRACT AND THE RECOGNIZED NORTHWEST CORNER OF LOT 1 OF SH 276 ADDITION, AN ADDITION TO ROCKWALL COUNTY, RECORDED IN CABINET I, SLIDE 193, P.R.R.C.T., FROM WHICH A 1/2 INCH IRON ROD FOUND WITH YELLOW CAP STAMPED BG&A RPLS 5569 FOR WITNESS BEARS SOUTH 89 DEGREES 56 MINUTES 30 SECONDS EAST - 30.00 FEET;

THENCE NORTH 00 DEGREES 14 MINUTES 14 SECONDS WEST, WITHIN SAID BLACKLAND ROAD AND ALONG SAID WEST LINE OF HERNANDEZ TRACT, A DISTANCE OF 339.03 FEET TO A 60D NAIL FOUND FOR CORNER, SAID POINT BEING THE RECOGNIZED NORTHWEST CORNER OF SAID HERNANDEZ TRACT AND THE APPARENT SOUTHWEST CORNER OF A TRACT OF LAND DESCRIBED IN DEED TO JOSE D. AND MARIA GONZALES, RECORDED IN DOCUMENT NO. 2015-000001453, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS;

THENCE SOUTH 89 DEGREES 56 MINUTES 30 SECONDS EAST, ALONG THE RECOGNIZED NORTH LINE OF SAID HERNANDEZ TRACT PASSING A 1/2 INCH IRON ROD FOUND FOR WITNESS AT 30.00 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 1284.60 FEET TO A 1/2 INCH IRON ROD FOUND FOR CORNER IN THE APPARENT WEST LINE OF A TRACT OF LAND DESCRIBED IN DEED TO DAVID CRAWFORD, RECORDED IN VOLUME 4345, PAGE 220, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS, SAID POINT BEING THE RECOGNIZED NORTHEAST CORNER OF SAID HERNANDEZ TRACT AND THE APPARENT SOUTHEAST CORNER OF SAID GONZALES TRACT;

THENCE SOUTH 00 DEGREES 19 MINUTES 30 SECONDS EAST, ALONG THE APPARENT WEST LINE OF SAID CRAWFORD TRACT AND THE RECOGNIZED EAST LINE OF SAID HERNANDEZ TRACT, A DISTANCE OF 339.03 FEET TO A 1/2 INCH IRON ROD FOUND WITH YELLOW CAP STAMPED BG&A RPLS 5569 FOR CORNER, SAID POINT BEING THE RECOGNIZED SOUTHEAST CORNER OF SAID HERNANDEZ AND THE RECOGNIZED NORTHEAST CORNER OF LOT 2 OF SAID SH 276 ADDITION;

THENCE NORTH 89 DEGREES 56 MINUTES 30 SECONDS WEST, A DISTANCE OF 1285.12 FEET TO THE PLACE OF BEGINNING AND CONTAINING 435,600.00 SQUARE FEET OR 10.000 ACRES OF LAND.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL
I DANIEL HERNANDEZ, the undersigned owner(s) of the land shown on this plat, and designated herein as the HERNANDEZ ADDITION, an addition to the County of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, watercourses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I MIL/WAY INVESTORS, LLC, further certify that all other parties who have a mortgage or lien interest in the HERNANDEZ ADDITION, subdivision have been notified and signed this plat. I DANIEL HERNANDEZ understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I DANIEL HERNANDEZ also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The County of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the County of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the County of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the county's engineer and/or county administrator, computed on a private commercial rate basis, has been made with the county secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the county to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the county be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the county secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the county secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the council of the County of Rockwall.

I MIL/WAY INVESTORS, LLC, further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the County; I MIL/WAY INVESTORS, LLC, my (our) successors and assigns hereby waive any claim, damage, or cause of action that I MIL/WAY INVESTORS, LLC, may have as a result of the dedication of exactions made herein.

Owner: DANIEL HERNANDEZ

By: DANIEL HERNANDEZ

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF ROCKWALL
Before me, the undersigned authority, on this day personally appeared DANIEL HERNANDEZ, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public in and for the State of Texas: _____ My Commission Expires: _____

LEGEND

- R.O.W.-RIGHT-OF-WAY
- EASM'T-EASEMENT
- PFC-POINT FOR CORNER
- 60D NAIL SET/FOUND
- 1/2" IRON ROD SET
- 1/2" IRON ROD FOUND
- IRF/IRS-IRON ROD FOUND/SET (UNLESS OTHERWISE NOTED)
- ASPHALT PAVING

NOTE: THE LOCATION OF UNDERGROUND UTILITIES IF SHOWN HEREON ARE BASED ON ABOVEGROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES OR STRUCTURES. CALL 1-800-344-8377 (DIG TESS)

NOTE: EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS HEREON WERE SUPPLIED TO THE SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT WOULD AFFECT THIS PARCEL.

NOTE: ACCORDING TO THE F.I.R.M. IN COMMUNITY PANEL NO. 48397C0065L THIS PROPERTY APPEARS TO LIE IN ZONE X AND APPEARS NOT TO LIE WITHIN THE SPECIAL FLOOD HAZARD AREA. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES, THIS FLOOD STATEMENT AND/OR FLOOD LINES SHOWN HEREON SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

NOTE: BEARINGS ARE BASED ON SOUTH LINE OF DEED RECORDED IN DOC. NO. 2015000003462. THIS SURVEY IS NOT A REPRESENTATION OF WARRANTY OF TITLE OR GUARANTEE OF OWNERSHIP.

TEXAS LICENSED SURVEYING FIRM REGISTRATION NUMBER 10150300

NOTE: It shall be the policy of the County of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the County. The approval of a plat by the County does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the County of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

~BRIAN GALLIA & ASSOCIATES~
BG&A Land Surveying, Inc.
9011 STATE HIGHWAY 34 S. SUITE - C
QUINLAN, TEXAS, 75474
PHONE: (903) 447-0658
FAX: (903) 447-0931
www.bgasurveying.com

JOB NO. 1501111-2 CAD. TECH. P.OWEN

PRELIMINARY PLAT
HERNANDEZ ADDITION
LOTS 1 THRU 5, BLOCK A
BEING AN 10.000 ACRE TRACT OF LAND
J. MERRIMAN SURVEY, ABSTRACT NO. 155
ROCKWALL COUNTY, TEXAS
CASE NO. P2020-021



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 9, 2020
APPLICANT: Clay Cristy; *ClayMoore Engineering*
CASE NUMBER: SP2020-005.; *Site Plan for a Daycare Center within the Stone Creek Retail Addition*

SUMMARY

Discuss and consider a request by Clay Cristy of ClayMoore Engineering on behalf of Grey Stogner of Metroplex Acquisition Fund, LP for the approval of a Site Plan for a *daycare center* on an eight (8) acre tract of land being identified as a portion of Lot 8, Block A, Stone Creek Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 70 (PD-70) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, generally located north of the intersection of Stone Creek Drive and Miramar Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on May 19, 1986 by *Ordinance No. 86-37*. On April 5, 2005, the City's historic zoning maps indicate the subject property was zoned Agricultural (AG) District. On April 2, 2007, the City Council approved a zoning change for the subject property changing the zoning designation from an Agricultural (AG) District to Planned Development District 70 (PD-70) [*Ordinance No. 07-13*] for General Retail (GR) District land uses. On January 5, 2009, the City Council approved a PD Development Plan for subject property and the surrounding area designated for General Retail (GR) District land uses at the corner of FM-552 and N. Goliad Street [*SH-205*]. The PD Development Plan contained a concept plan that showed generally showed how the area around the subject property would be developed in the future.

PURPOSE

On May 15, 2020, the applicant -- *Clay Cristy of ClayMoore Engineering* -- submitted an application requesting the approval of a site plan for the purpose of constructing a ~12,400 SF daycare center.

ADJACENT LAND USES AND ACCESS

The subject property is located at the southeast corner of Ridge Road [*FM-740*] and Horizon Road, and is addressed as 2901 Ridge Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the *subject property* is Tom Thumb followed by FM-552, which is identified as TxDOT4D (*i.e. TXDOT, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is the corporate boundaries for the City of Rockwall.

South: Directly south of the *subject property* is a continuation of Planned Development District 70 (PD-70), followed by E. Quail Run Road, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is Planned Development District 5 (PD-5), which is zoned for Single Family 7 (SF-7) District land uses and consists of ~539.00-acres.

East: Directly east of the *subject property* is Stone Creek Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this is a Rockwall Independent School District (RISD) elementary school that is situated on a 12.003-acre tract of land, is currently under construction, and is zoned Planned Development District 70 (PD-70). Adjacent to the elementary school is J. W. Williams Middle School, which is situated on a

25.569-acre tract of land and is zoned Single-Family 16 (SF-16) District. Continuing along the eastern boundary of PD-70 are several parcels of land zoned Agricultural (AG) District, and Planned Development District 79 (PD-79) for Single-Family 10 (SF-10) District land uses. Beyond this is John King Boulevard, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan.

West: Directly west of the *subject property* is N. Goliad Street, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this are several properties that are zoned Single-Family 16 (SF-16) District, Planned Development District 37 (PD-37), Agricultural (AG) District, Single-Family Estate (SFE-1.5) District, and Planned Development District 3 (PD-3). These areas include a mix of land uses, but are primarily residential.

DENSITY AND DIMENSIONAL REQUIREMENTS

The subject property is located within Planned Development District 70 (PD-70), which has an underlying zoning of General Retail (GR) District and Single-Family 10 (SF-10) District land uses. According to Section 01, *Land Use Schedule*, of Article 04 *Permissible Uses*, of the Unified Development Code (UDC), the proposed use (*i.e. daycare center*) is allowed *by-right* in a General Retail (GR) District. With the exception of the variances being requested the submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within Planned Development District 70 (PD-70). The proposed *daycare center* will be constructed utilizing natural stone, Hardie-Plank lap siding, and will incorporate a pitched roof design using asphalt shingles and standing seam metal canopies as accents. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6,000 SF</i>	<i>88,560 SF; In Compliance</i>
<i>Minimum Lot frontage</i>	<i>60 Feet</i>	<i>x>100-Feet; In Compliance</i>
<i>Minimum Lot Depth</i>	<i>100 Feet</i>	<i>x>300-Feet; In Compliance</i>
<i>Minimum Front Yard Setback</i>	<i>15 Feet</i>	<i>x>15-Feet; In Compliance</i>
<i>Minimum Rear Yard Setback</i>	<i>10 Feet</i>	<i>x>10-Feet; In Compliance</i>
<i>Minimum Side Yard Setback</i>	<i>10 Feet</i>	<i>x>100-Feet; In Compliance</i>
<i>Maximum Building Height</i>	<i>36 Feet</i>	<i>~20-Feet; In Compliance</i>
<i>Max Building/Lot Coverage</i>	<i>40%</i>	<i>~14%; In Compliance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>x>90%; In Compliance</i>
<i>Minimum Number of Parking Spaces</i>	<i>42</i>	<i>54 Provided; In Compliance</i>
<i>Minimum Stone Requirement</i>	<i>20% Each Facade</i>	<i>x>20%; In Compliance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>~47.5%; In Compliance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>~14%; In Compliance</i>

TREESCAPE PLAN

There are no existing trees located on the subject property; therefore no treescape plan is required.

CONFORMANCE WITH THE CITY'S CODES

Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that the General Retail (GR) District is a district intended to provide limited retail and service uses for nearby residential neighborhoods and is not intended to be a major commercial/retail district. General Retail (GR) Districts should try to avoid intensive commercial land uses that carry large volumes of retail traffic and should be adequately buffered from residential land uses. General Retail (GR) Districts are generally situated in close proximity to an arterial roadway or major collector that is capable of carrying the traffic generated by the land uses in the district. Since the General Retail (GR) District is located close to residential areas, the development standards are more stringent and similar to the Residential-Office (RO) and Neighborhood Services (NS) Districts. In this case, the applicant's proposal is adjacent to Stone Creek Drive, which is identified as a *Minor Collector* roadway on the City's Master Thoroughfare Plan and serves the Stone Creek Subdivision. The *daycare center* land use is not typically considered an intensive non-residential land use, nor is it a high-volume water/wastewater user. With regard to the land use, a daycare center is permitted *by-right* in a General Retail (GR) District.

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions and variances to the requirements of Subsection 04.01, *General Commercial District Standards* and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC):

(1) *Building Articulation.*

Primary Building Façades. According to Subsection 04.01(C)(1), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the UDC, primary façades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25% above the top of the wall and a minimum of 25% from the walls surface. In addition, no wall should exceed a length of three (3) time the walls height without an architectural/entryway element. In this case, the proposed building incorporates vertical projections on all façades; however, the building design does not meet the horizontal projection standards for primary façades (*i.e. west facing elevation*).

(2) *General Overlay District Standards.*

Materials and Masonry Composition. Subsection 06.02, *General Overlay District Standards*, of Section 06, *Overlay Districts*, of the Unified Development Code (UDC) states that "each exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials...(t)he use of cementitious materials (*e.g. stucco, cementitious lap siding, or similar cementitious materia*l), shall be limited to 50% of the building's exterior façade." In this case, the proposed building utilizes Hardie-Plank lap siding (*i.e. cementitious materia*l) that exceeds 50% of the primary material requirements. Specifically, the applicant is proposing 63% on the north façade, 64% on the south façade, and 59% on the east façade. Staff should note, the west building façade utilizes 42% cementitious siding. Since this exceeds the maximum requirement of 50% for the north, south, and east façades, approval of a variance is required.

According to Section 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), unless otherwise specified by the UDC "(a)n applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC)" or "a variance to any provision contained in *Subsection 06.02, General Overlay District Standards*, where unique or extraordinary conditions exist or where strict adherence to the technical requirements of this section would create an undue hardship." In cases where variances or exceptions are being requested, the applicant shall provide compensatory measures that directly offset the requested exception or variance. In this case, the applicant has provided a letter explaining the exceptions and variances being requested and the proposed compensatory measures for the requested exceptions and variances.

Staff should also note that compensatory measures include the increasing of minimum standards (*i.e. landscape buffers, landscaping, articulation, building materials, etc.*) that could provide necessary off-sets to the exceptions and variances being requested. In this case, the applicant has indicated an increase in the amount of stone at the primary entrance, the addition of decorative shutters, added gables to provide relief of the elevation, and the addition of a cupola with a weather vane. It should be noted that the Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set or mitigate the requested variances. This is a discretionary decision for the Planning and Zoning Commission that requires approval by a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located within the *Northwest Residential District* which is "...characterized by the two (2) large master planned communities that make up the majority of the acreage in this district. These developments are the Caruth Lakes and Stone Creek Subdivisions. The remainder of this district is expected to develop with similar medium density residential housing product." The district strategies of the Comprehensive Plan expects a continuation of master planned suburban neighborhoods in the future and has no areas that are thought to be transitioning. Additionally, commercial development

within this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures. These areas should provide pedestrian access between the Neighborhood/Convenience Centers and the Suburban Residential developments. In this case, with the daycare center adjacent to Stone Creek Drive and visible to the residential neighborhood, the applicant is applying a residentially scaled exterior appearance for compatibility. Additionally, the daycare center is easily accessible via pedestrian walkways connecting the commercial areas to the neighborhood. The location of the proposed daycare center is considered to be highly visible within the district.

In addition, Goal 3, *Visual Impacts*, of Chapter 09, *Non-Residential*, the Comprehensive Plan states "(a)ll non-residential buildings should be designed so that negative visual impacts of the development are minimized". *Policy 4* of this section also indicates that "...long, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- or 'articulated' in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, the applicant is proposing verticality by incorporating gabled roof elements that provide horizontal relief, and is more reflective of a residentially scaled building and may meet the intent of *Policy 4*; however, this does not meet the intent of the horizontal articulation standards of the UDC for the primary entry way (*i.e. west facade*).

ARCHITECTURAL REVIEW BOARD (ARB):

On May 26, 2020, the Architectural Review Board (ARB) reviewed the proposed site plan and building elevations for the proposed daycare center. Upon review, the ARB indicated that based on the adjacent neighborhood -- *and the location of this site* -- they did not have issues with the use of the materials (*i.e. stone, Hardie-Plank lap siding, asphalt shingled roof, etc.*) or the articulation of the front and rear facades (*i.e. east and west facing facades*) since the applicant is using gabled roof elements that provide relief horizontally to the structure; however the ARB did recommended the applicant use a natural stone in order to better blend aesthetically with the surrounding non-residential development (*i.e. Stone Creek Retail*).

The applicant has revised the building elevations by increasing the horizontal articulation of the east facing façade (*i.e. rear façade*) and incorporating a natural stone (*i.e. leuder's limestone*) wainscot around the building. The Architectural Review Board (ARB) will review the applicant's revised building elevations at the June 9, 2020 meeting, and provide a recommendation to the Planning and Zoning Commission at the meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's site plan for a daycare center, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit; and,
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address _____

Subdivision Stone Creek Retail Addition

Lot 8 Block A

General Location North East Corner of N. Goliad St and Bordeaux Dr.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-070

Current Use Undeveloped

Proposed Zoning PD-070

Proposed Use Mixed-Retail/Rest//Office/Daycare

Acreage 8.00

Lots [Current] 1

Lots [Proposed] 2

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Metroplex Acquisition Fund, LP

Applicant ClayMoore Engineering

Contact Person Grey Stogner

Contact Person Clay Cristy

Address 1717 Woodstead Ct.
Ste. 207

Address 1903 Central Dr.
Ste. 406

City, State & Zip The Woodlands, TX 77380

City, State & Zip Bedford, Texas 76021

Phone 214.343.4477

Phone 817.281.0572

E-Mail gstogner@crestviewcompanies.com

E-Mail Clay@claymooreeng.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Grey Stogner [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 ____ . By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

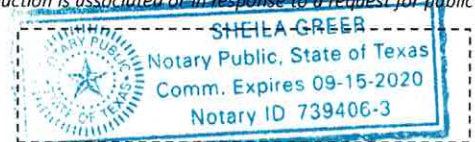
Given under my hand and seal of office on this the 20th day of February, 20 20.

Owner's Signature

Grey Stogner

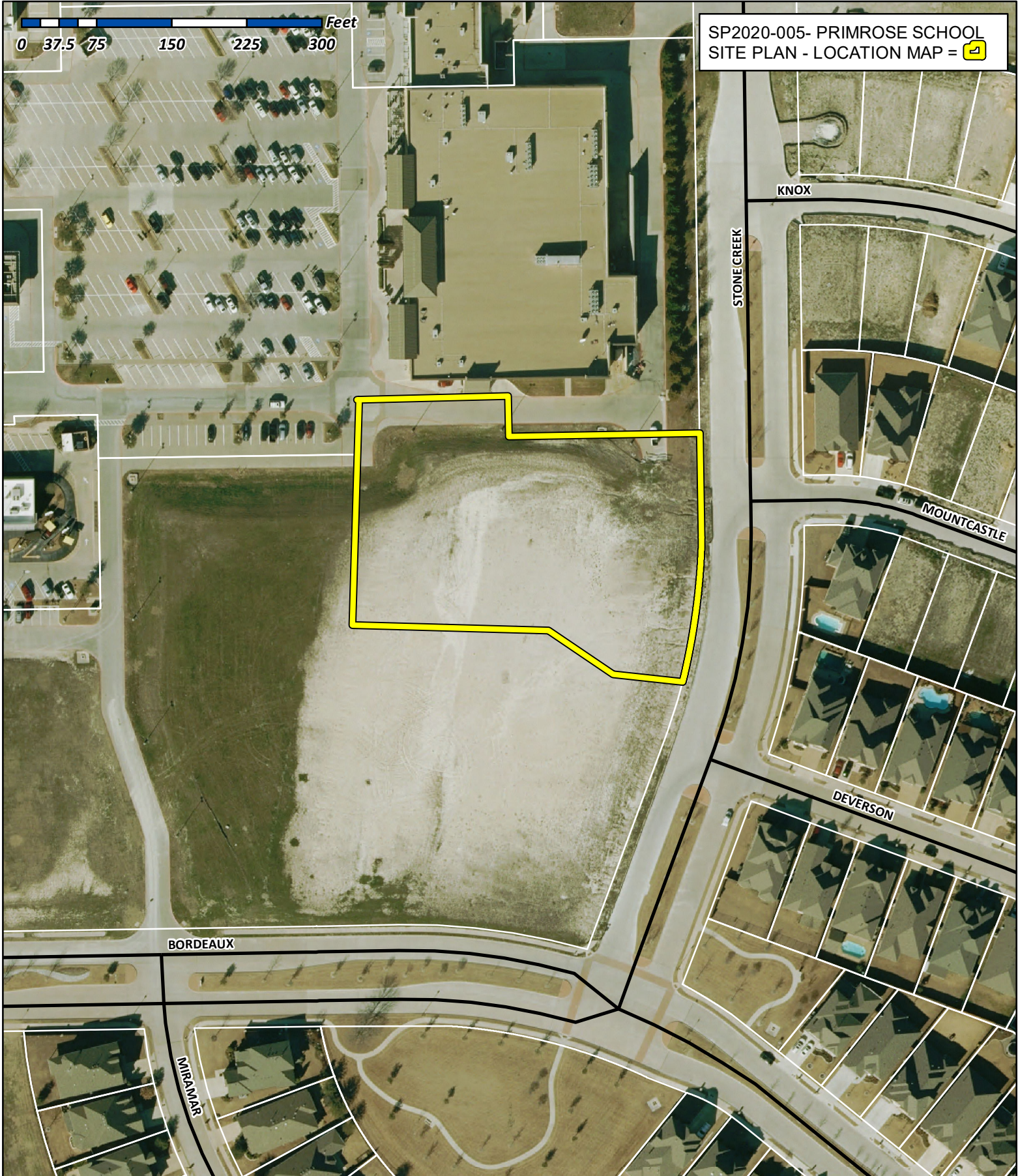
Notary Public in and for the State of Texas

Sheila Greer



My Commission Expires

9-15-2020



SP2020-005- PRIMROSE SCHOOL
 SITE PLAN - LOCATION MAP = [icon]



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PARKING TABLE PHASE 1 (PRIMROSE)

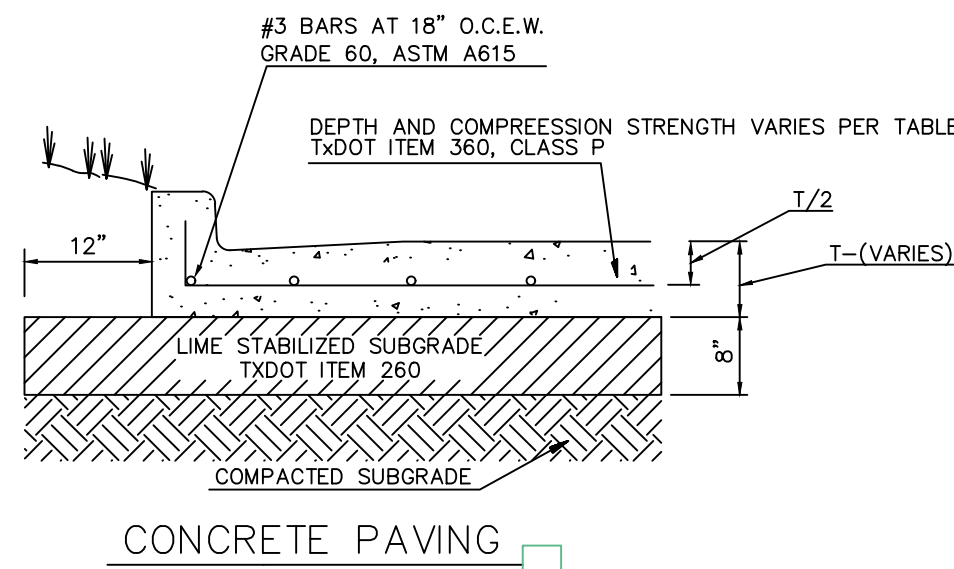
PARKING REQUIREMENTS	1/300 SF DAYCARE
PARKING REQUIRED	42 SPACES
PARKING PROVIDED	54 SPACES (3 ADA)

NOTES:

1. A SEPARATE SIGNAGE PERMIT IS REQUIRED BY THE CITY OF ROCKWALL.
2. ALL WALLS 3' IN HEIGHT OR GREATER SHALL BE DESIGNED BY AN ENGINEER, LICENSED IN THE STATE OF TEXAS.
3. ALL WALLS MUST BE ROCK OR STONE FACE. NO WALLS SHALL BE SMOOTH CONCRETE.
4. NO TREES SHALL BE PLANTED WITHIN 10' OF NON-STEEL ENCASED PUBLIC UTILITIES.
5. SOD MUST BE LAID WITHIN ALL DISTURBED R.O.W. BEFORE ACCEPTANCE OF PROJECT.

SITE DATA TABLE PHASE 1 (PRIMROSE)

SITE AREA	2.03 AC 88,560 SF
ZONING	PD-70
PROPOSED USE	EARLY CHILDHOOD SCHOOL
BUILDING SIZE	12,400 SF
LOT COVERAGE	14.0 %
FLOOR TO AREA RATIO	0.14 : 1
BUILDING HEIGHT	1 STORY
FRONT SETBACK	20 FEET

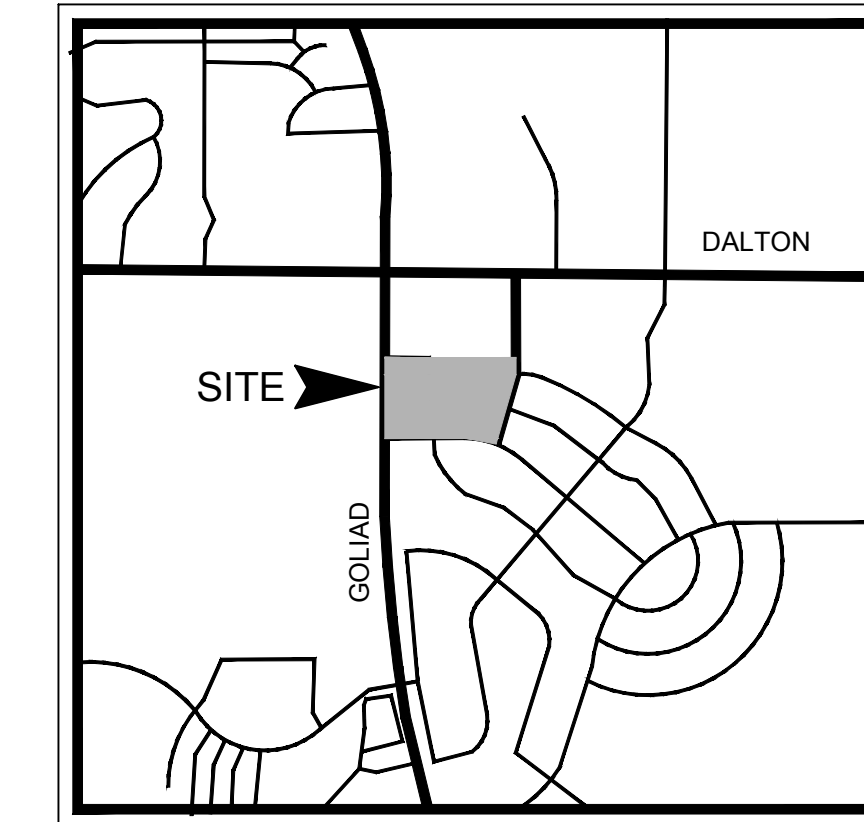
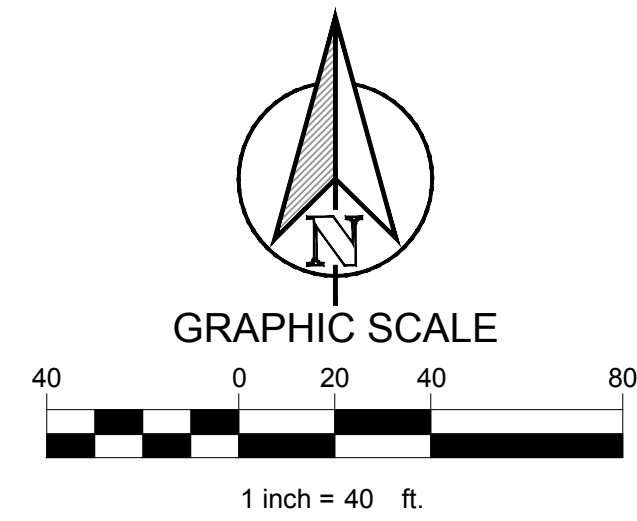


CONSTRUCTION SCHEDULE

[Pattern]	STANDARD DUTY CONCRETE (5'- 3000 PSI)
[Pattern]	FIRE LANE PAVEMENT (6\"/>

CONSTRUCTION SCHEDULE

[Symbol]	PROPOSED WATER LINE
[Symbol]	EXISTING WATER LINE
[Symbol]	PROPOSED SANITARY SEWER
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	PROPOSED STORM LINE
[Symbol]	EXISTING STORM LINE
[Symbol]	PROPOSED ELECTRIC SERVICE
[Symbol]	PROPOSED GAS LINE



VICINITY MAP
N.T.S.

CONSTRUCTION SCHEDULE

1	2" DOM. WATER
2	6" FIRE LINE
3	6" SANITARY SEWER
4	PROP. FIRE HYDRANT
5	PROP. FDC
6	PROP. CURB INLET
7	HANDICAP SYMBOL (TYP)
8	PROP. SIDEWALK
9	EX. SIDEWALK
10	15' VISIBILITY TRIANGLE
11	PROPOSED DUMPSTER ENCLOSURE TO MATCH BUILDING FACADE
12	OIL/WATER SEPARATOR

TEXAS REGISTRATION #14199
CLAY MOORE ENGINEERING
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TEXAS 76021
 PHONE: 817.281.0572
 WWW.CLAYMOOREENGINEERING.COM

PRELIMINARY
 FOR REVIEW ONLY
 Not for construction purposes.
CLAYMOORE ENGINEERING
 ENGINEERING AND PLANNING CONSULTANTS
 Engineer: CLAY CRISTY
 P.E. No 109800 Date 06/02/2020

PRIMROSE SCHOOL OF NORTH ROCKWALL ROCKWALL, TX 75087

NO.	DATE	REVISION	BY

CITY SITE PLAN

PRIMROSE SCHOOL
 ROCKWALL, TX 75087
 LEGAL DESCRIPTION AND/OR ADDRESS:
 A PORTION OF STONE CREEK RETAIL ADDITION
 LOT 8, BLOCK A
 2.03 ACRES (REPLAT 2012)

OWNER:
 METROPLEX ACQUISITION FUND, LP
 1717 WOODSTEAD CT
 STE 207
 THE WOODLANDS, TX 77380

APPLICANT:
 CLAYMOORE ENGINEERING, INC.
 1903 CENTRAL DRIVE, SUITE #406
 BEDFORD, TX 76021
 PH: 817.281.0572

CASE NUMBER
 SP2020-005

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

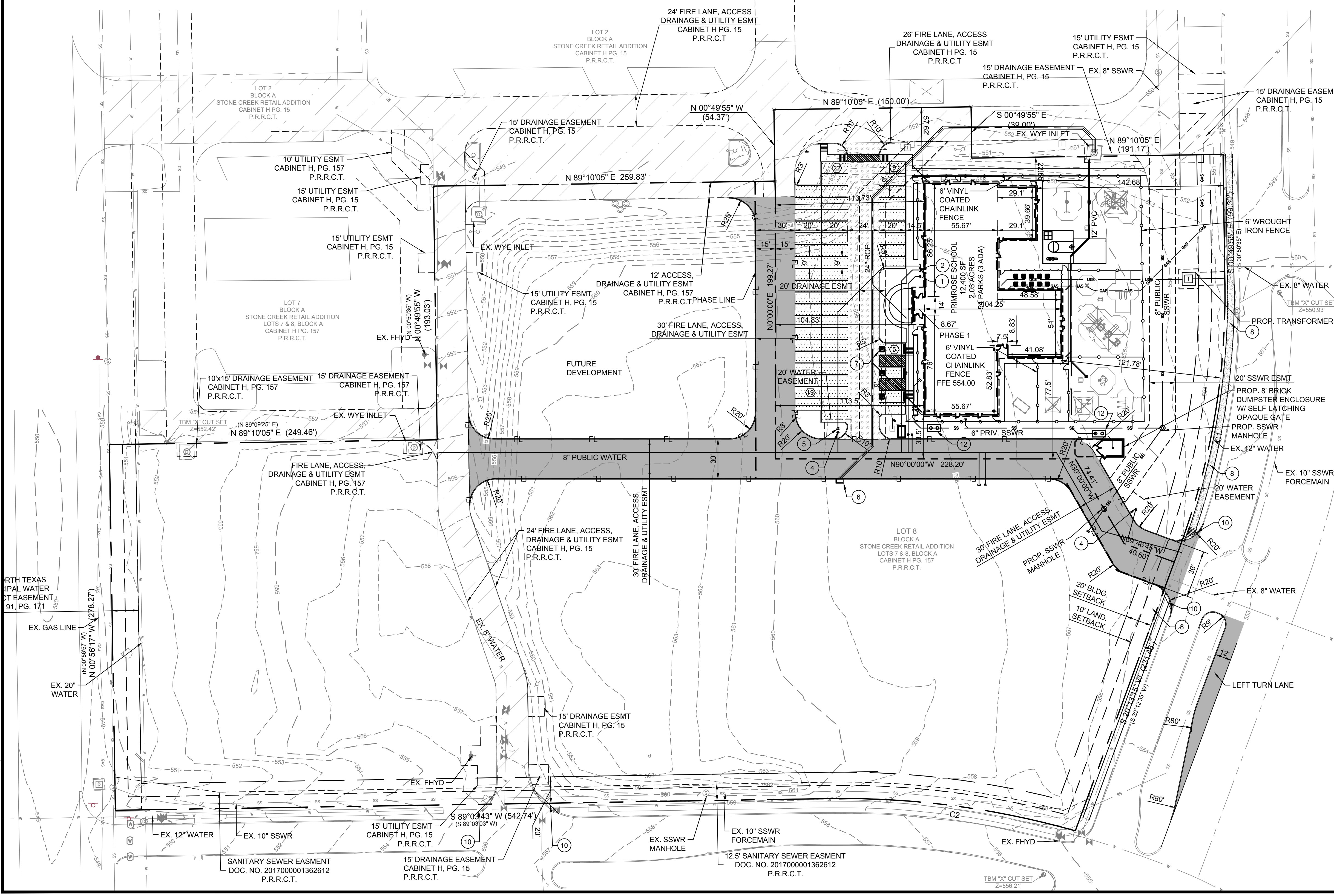
WITNESS OUR HANDS THIS ____ DAY OF ____.

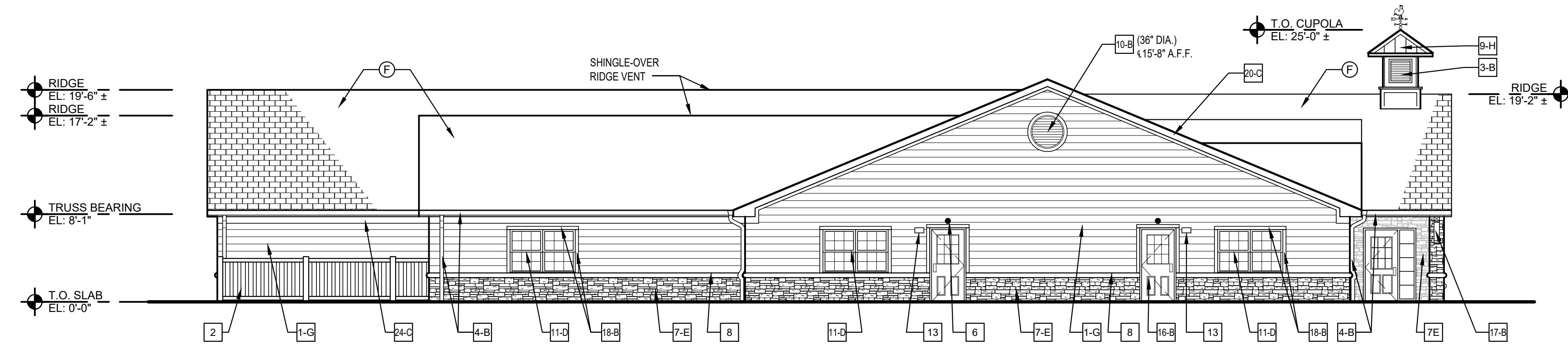
DESIGN: LRR
 DRAWN: LRR
 CHECKED: CLC
 DATE: 06/02/2020

SHEET
SP-1

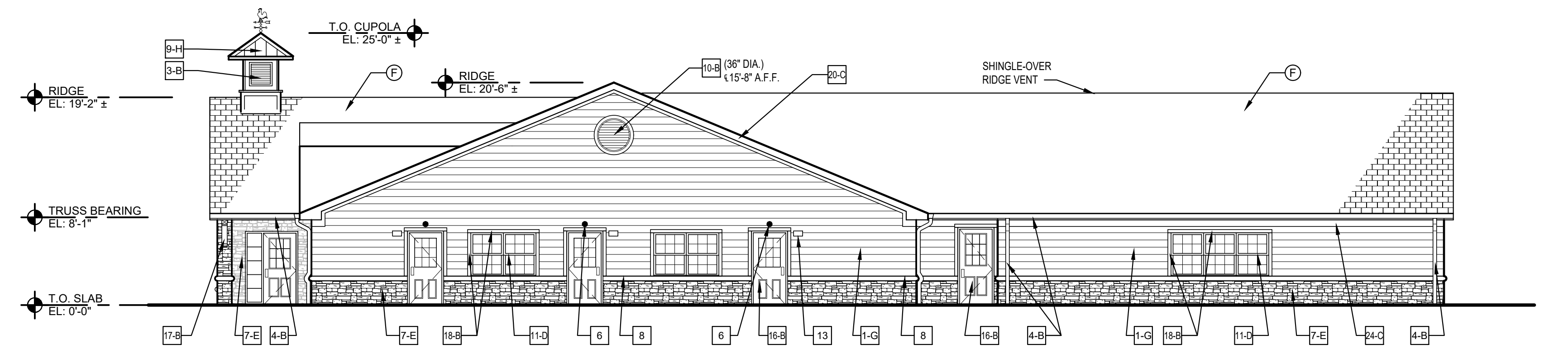
DIRECTOR OF PLANNING AND ZONING

PLOTTED BY: LYNN ROWLAND
 PLOT DATE: 6/2/2020 12:05 PM
 LOCATION: Z:\PROJECTS\2020-021 CASCO PRIMROSE ROCKWALL CADD\ SHEETS\SP-1 CITY SITE PLAN.DWG
 LAST SAVED: 6/2/2020 11:53 AM

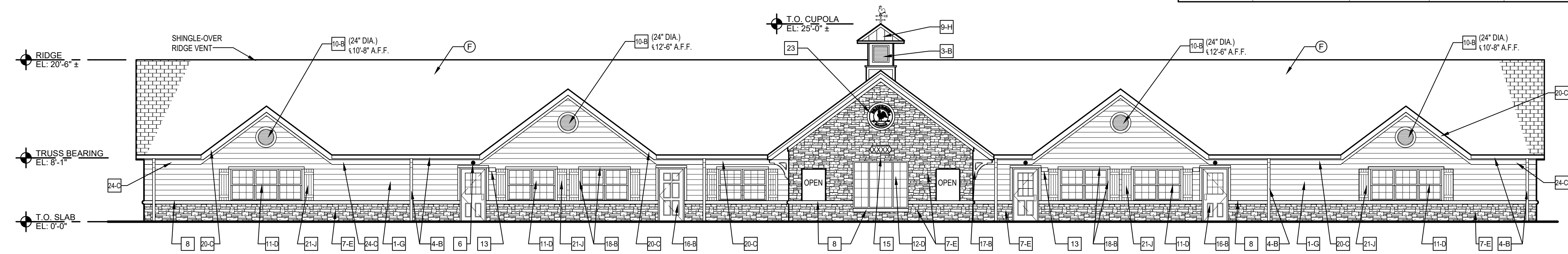




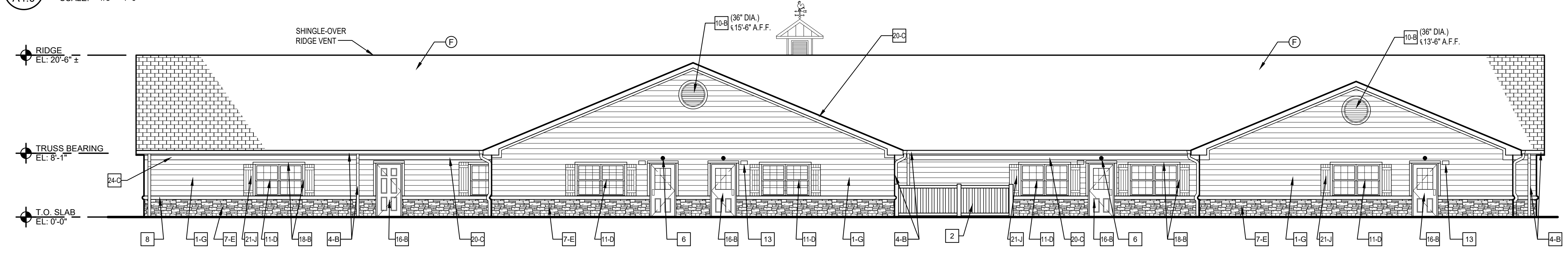
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

KEYED NOTES:

- 1 HARDIE PLANK LAP SIDING.
- 2 TREX FENCE SCREEN FOR HVAC UNITS, COLOR SADDLE, SEE A7.3
- 3 CUPOLA WITH WEATHER VANE, SEE SPECIFICATIONS SECTION OF DRAWINGS. PAINT CUPOLA WALLS AND LOUVERS PER EXTERIOR FINISH SCHEDULE. DARK BRONZE STANDING SEAM ROOF. (EPOXY ROOSTER)
- 4 EXTRUDED ALUMINUM 5" WIDE GUTTERS WITH SPIKE AND FERRULE AT 36" O.C. OGEE PROFILE. CONNECT 4" DIA. DOWNSPOUTS TO UNDER GROUND STORM SYSTEM.
- 5 NOT USED
- 6 WALL MOUNTED EMERGENCY LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 7 STONE: SEE EXTERIOR COLOR SCHEDULE FOR MANUFACTURER.
- 8 PRECAST BULLNOSE SILL - NATURAL WHITE COLOR
- 9 STANDING SEAM ROOF.
- 10 24" OR 36" DIAMETER VENT LOUVERS. PROVIDE PAINTABLE UNIT AND PAINT PER SCHEDULE. SIZE AND HEIGHT AS SHOWN ON ELEVATIONS. SEE 0/A6.2
- 11 VINYL SINGLE HUNG WINDOWS WITH CLEAR GLASS (SEE WINDOW ELEVATIONS SHEET A2.1)
- 12 FIXED WINDOW WITH CLEAR GLASS. (SEE WINDOW ELEVATIONS SHEET A2.1)
- 13 WALL MOUNTED LIGHT FIXTURE, TYP. AT EACH EXTERIOR DOOR. SEE LIGHT FIXTURE SCHEDULE. MOUNT 82 1/2" A.F.G. TO CENTER OF FIXTURE
- 14 NOT USED
- 15 BEIGE ALUMINUM PLAQUE w/ 6" REFLECTIVE BLACK VINYL NUMBERS. PROVIDED BY 1 HOUR SIGN.
- 16 H.M. INSUL. EXTERIOR DOOR AND FRAME - SEE DOOR SCHEDULE
- 17 *FYPPON* PVC BRACKET, MODEL NO. BKT31X30X5. PAINTED.
- 18 1X4 TRIM BOARD, PAINT
- 19 NOT USED
- 20 1X8 TRIM BOARD, PAINT
- 21 VINYL SHUTTERS
- 22 NOT USED
- 23 42" ROUND LED LIGHTED SIGN (INTERNALLY LIT)
- 24 PREFINISHED TRIM AND FRIEZE BOARDS

EXTERIOR COLOR SCHEDULE

- | | |
|--|--|
| (A) TRASH ENCLOSURE GATES (POST & HINGES) | HBM HC 112 TATE OLIVE (INDUSTRIAL ENAMEL EXTERIOR APPLICATION) |
| (B) EXTERIOR WD. TRIM, EXTERIOR DOORS, FRAMES, LOUVERS, CUPOLA WALLS, GUTTERS AND AND DOWNSPOUTS, SOFFITS, BRACKETS. | JAMES HARDIE - 'MONTEREY TAUPE' |
| (C) EXTERIOR FASCIA, FRIEZE | JAMES HARDIE - 'MONTEREY TAUPE' |
| (D) WINDOWS | COLOR - 'ALMOND' |
| (E) STONE: | LEUDER'S LIMESTONE ROUGHBACK - 'BUFF' |
| (F) FIBERGLASS ASPHALT SHINGLES: | NOTE: CAULK COLOR @ CONTROL JOINTS SHALL BE CLOSEST MATCH TO STONE COLOR. |
| (G) HARDIE PLANK LAP SIDING: | MANUFACTURER: GAF OR (CERTAINTED) STYLE: TIMBERLINE HD OR (LANDMARK) COLOR: WEATHERED WOOD LIFETIME WARRANTY |
| (H) STANDING SEAM ROOF: | COBBLESTONE JH40-10 |
| (J) VINYL SHUTTERS | architecturaldepot.com - 14" JOINED SHUTTERS WINSTALL SCREWS WIDE STANDARD SIZE FOUR BOARD PREFINISHED #028 FOREST GREEN |

MATERIAL PERCENTAGES

ELEVATION	TOTAL ELEVATION (SF)	TOTAL WINDOWS/ DOORS (SF)	TOTAL MATERIALS EXCLUDING WINDOWS/ DOORS (SF)	STONE (SF)	STONE (%)	SIDING (SF)	SIDING (%)
NORTH	1,231	161	1,070	295	28	675	63
SOUTH	1,231	219	1,012	278	27	652	64
WEST	1,801	326	1,475	653	44	614	42
EAST	1,853	283	1,570	426	27	930	59



PRIMROSE SCHOOL FRANCHISING COMPANY
3300 WINDY HILL ROAD, SUITE 1200 E
ATLANTA, GEORGIA 30339-5640
THESE DRAWINGS AND THE DESIGN REPRESENTED HEREIN ARE THE EXCLUSIVE PROPERTY OF PRIMROSE SCHOOL FRANCHISING CO. REPRODUCTION OR ANY USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT THE EXPRESS WRITTEN CONSENT OF PRIMROSE SCHOOL FRANCHISING CO. IS PROHIBITED. ANY UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

Date:

CONSTR. DOC. REVISIONS Description:

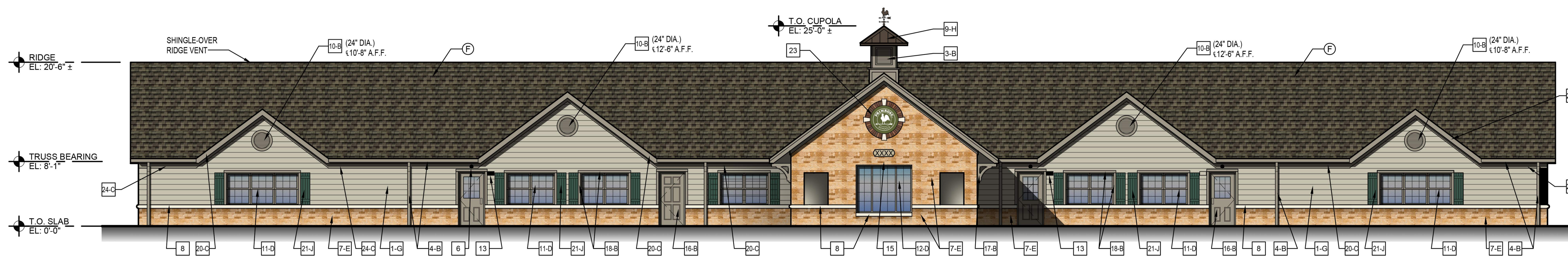
No.

PRIMROSE SCHOOL ROCKWALL, TX 75087
LEGAL DESCRIPTION AND OR ADDRESS: A PORTION OF STONE CREEK RETAIL ADDITION LOT 8, BLOCK A 2.03 ACRES (REPLAT 2012)
OWNER: METROPLEX ACQUISITION FUND, LP 1717 WOODSTEAD CT STE 207 THE WOODLANDS, TX 77380
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572
CASE NUMBER SP2020-005
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.
WITNESS OUR HANDS THIS ____ DAY OF _____.
PLANNING AND ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

Drawn By/Checked By: DSC/KMM
Project Number: 919579
Bid Date: --/--
Permit Date: --/--
For Construction: --/--

EXTERIOR ELEVATIONS

A4.0



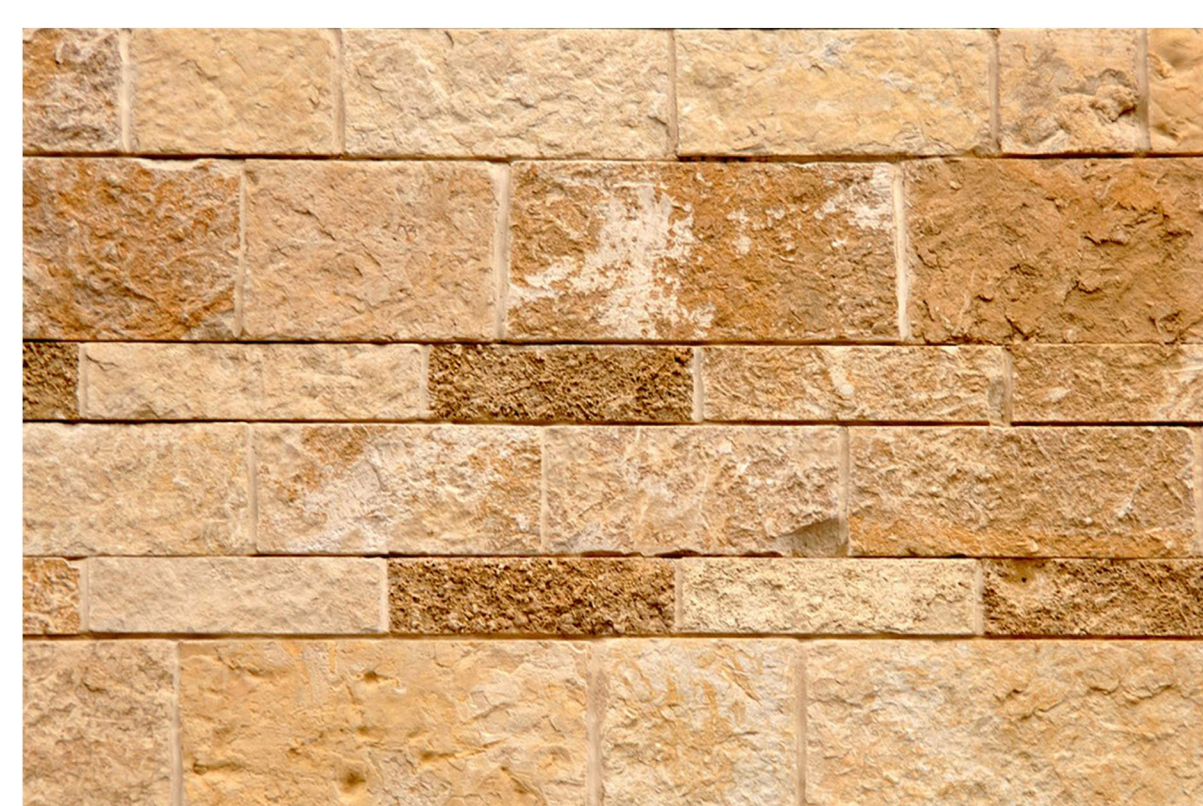
WEST ELEVATION

KEYED NOTES:

- 1 HARDIE PLANK LAP SIDING.
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- 3 CUPOLA WITH WEATHER VANE, SEE SPECIFICATIONS SECTION OF DRAWINGS. PAINT CUPOLA WALLS AND LOUVERS PER EXTERIOR FINISH SCHEDULE. DARK BRONZE STANDING SEAM ROOF. (EPOXY ROOSTER)
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HARDIE PLANK LAP SIDING



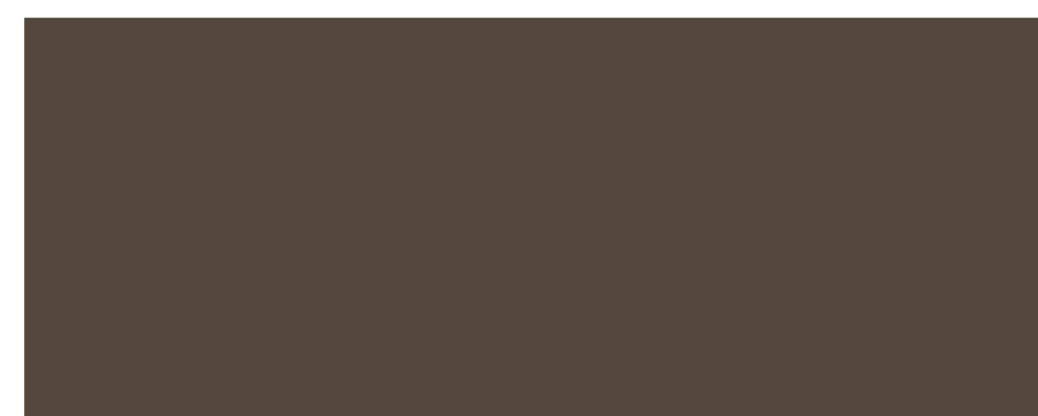
STONE



SHINGLES



MONTEREY TAUPE



STANDING SEAM ROOF

MATERIAL PERCENTAGES

ELEVATION	TOTAL ELEVATION (SF)	TOTAL WINDOWS/DOORS (SF)	TOTAL MATERIALS EXCLUDING WINDOWS/DOORS (SF)	STONE (SF)	STONE (%)	SIDING (SF)	SIDING (%)
NORTH	1,231	161	1,070	295	28	675	63
SOUTH	1,231	219	1,012	278	27	652	64
WEST	1,801	326	1,475	653	44	614	42
EAST	1,853	283	1,570	426	27	930	59

EXTERIOR COLOR SCHEDULE

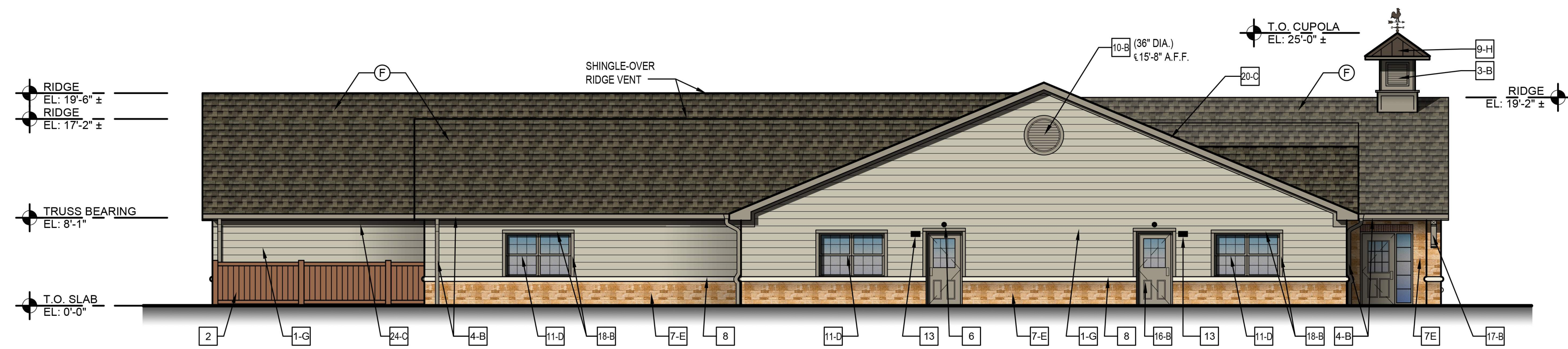
- (A) TRASH ENCLOSURE GATES (POST & HINGES) #BM HC 112 TATE OLIVE (INDUSTRIAL ENAMEL, EXTERIOR APPLICATION)
 - (B) EXTERIOR WD. TRIM, EXTERIOR DOORS, FRAMES, LOUVERS, CUPOLA WALLS, GUTTERS AND AND DOWNSPOUTS, SOFFITS, BRACKETS. JAMES HARDIE - "MONTEREY TAUPE"
 - (C) EXTERIOR FASCIA, FRIEZE JAMES HARDIE - "MONTEREY TAUPE"
 - (D) WINDOWS COLOR - "ALMOND"
 - (E) STONE: LEUDER'S LIMESTONE ROUGHBACK - "BUFF" TYPE: RANDOM LENGTH (4" TO 24") COURSE HEIGHT: 8", 10", 12", & 16" GROUT: LIGHT BUFF COLORED MORTAR MFR: MEZGER ENTERPRISES, LTD (OR APPROVED EQUAL)
 - (F) FIBERGLASS ASPHALT SHINGLES: MANUFACTURER: GAF OR (CERTAINTED) STYLE: TIMBERLINE HD OR (LANDMARK) COLOR: WEATHERED WOOD LIFETIME WARRANTY
 - (G) HARDIE PLANK LAP SIDING: COBBLESTONE JH40-10
 - (H) STANDING SEAM ROOF: AEP-SPAN SNAPSEAM - 12" COLOR: DARK BRONZE
 - (J) VINYL SHUTTERS architecturaldepot.com - 14" JOINED SHUTTERS W/INSTALL SCREWS WIDE STANDARD SIZE FOUR BOARD PREFINISHED #028 FOREST GREEN
- NOTE: CAULK COLOR @ CONTROL JOINTS SHALL BE CLOSEST MATCH TO STONE COLOR.



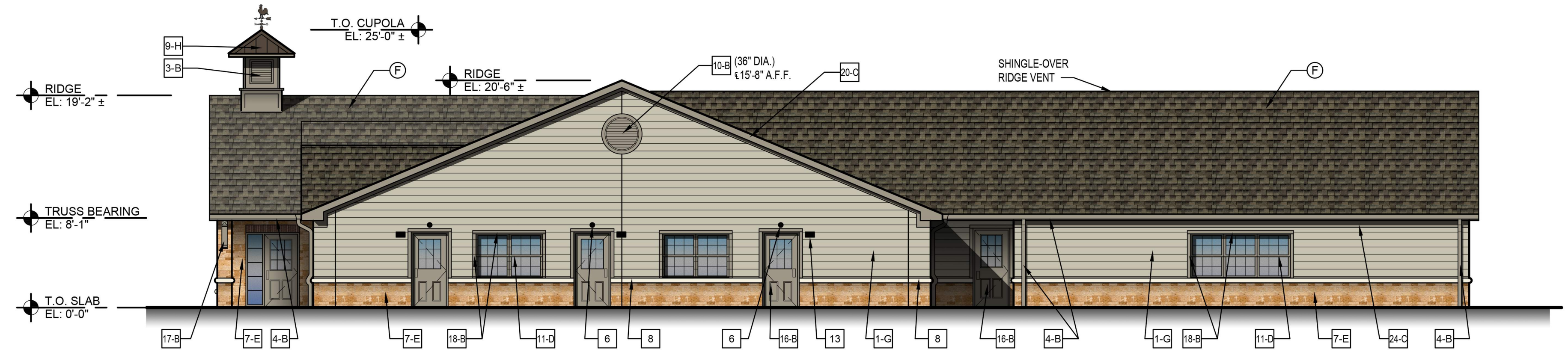
PROPOSED BUILDING FOR:
PRIMROSE SCHOOL
 FRANCHISING COMPANY
 3200 WINDY HILL ROAD, SUITE 1200E
 ATLANTA, GEORGIA 30339-5640

MATERIAL BOARD AND COLORED ELEVATION
PRIMROSE SCHOOL
 BORDEAUX DRIVE & STONE CREEK DRIVE
 NORTH ROCKWALL, TX
 06/1/2020

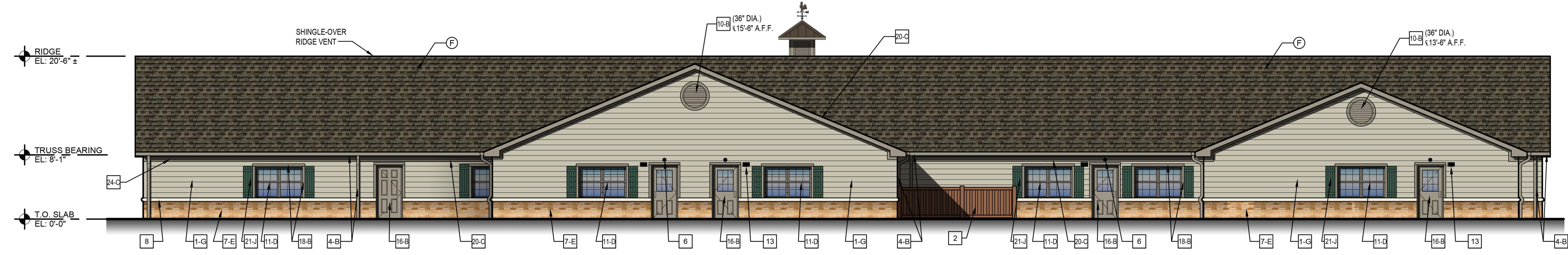
PRIMROSE SCHOOL ROCKWALL, TX 75087
LEGAL DESCRIPTION AND OR ADDRESS: A PORTION OF STONE CREEK RETAIL ADDITION LOT 8, BLOCK A 2.03 ACRES (REPLAT 2012)
OWNER: METROPLEX ACQUISITION FUND, LP 1717 WOODSTEAD CT STE 207 THE WOODLANDS, TX 77380
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572
CASE NUMBER SP2020-005
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.
WITNESS OUR HANDS THIS ____ DAY OF ____.
PLANNING AND ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING



NORTH ELEVATION




SOUTH ELEVATION



EAST ELEVATION

PRIMROSE SCHOOL ROCKWALL, TX 75087
LEGAL DESCRIPTION AND OR ADDRESS: A PORTION OF STONE CREEK RETAIL ADDITION LOT 8, BLOCK A 2.03 ACRES (REPLAT 2012)
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WITNESS OUR HANDS THIS ____ DAY OF _____
PLANNING AND ZONING COMMISSION, CHAIRMAN _____
DIRECTOR OF PLANNING AND ZONING _____


 PROPOSED BUILDING FOR:
PRIMROSE SCHOOL
FRANCHISING COMPANY
 3200 WINDY HILL ROAD, SUITE 1200E
 ATLANTA, GEORGIA 30339-5640

COLORED ELEVATIONS
PRIMROSE SCHOOL
 BORDEAUX DRIVE & STONE CREEK DRIVE
 NORTH ROCKWALL, TX
 06/1/2020

SP2020-05

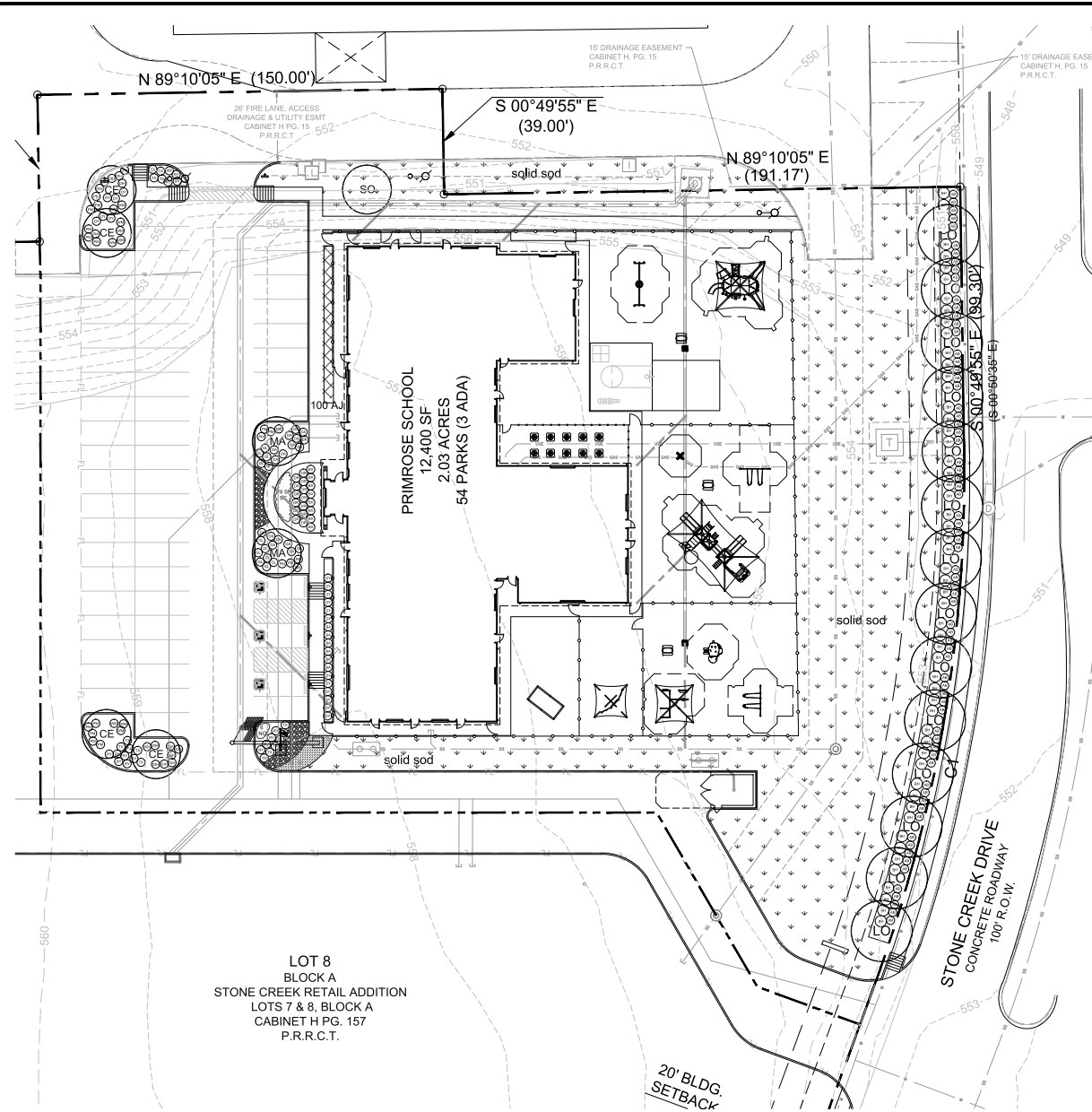
12 Sunnen Drive, Suite 100
 St. Louis, MO 63143
 o: 314.821.1100

CASCO + R5

PLOTTED BY: SCOTTJULIEN
 PLOT DATE: 6/2/2020 11:34 AM
 LOCATION: C:\USERS\SCOTTJULIEN\DOCUMENTS\AUTOCAD_LRD\PRIMROSE ROCKWALL\PRIMROSE ROCKWALL_L1.DWG
 LAST SAVED: 6/2/2020 11:38 AM

LOT 8
 BLOCK A
 STONE CREEK RETAIL ADDITION
 LOTS 7 & 8, BLOCK A
 CABINET H PG. 157
 P.R.R.C.T.

20' BLDG.
 SETBACK



TREE LEGEND

Canopy Trees

LO Live Oak	SO Shumard Oak
CE Cedar Elm	MA Shoring Maple

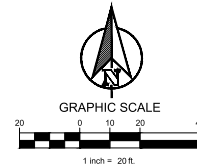
SHRUB LEGEND

DY Dwarf Yucca	GL Giant Limbo
DA Dwarf Asoka	AB Abelia
WM Dwarf Wax Myrtle	BN Dwarf Burford Holly
RY Red Yucca	BX Dwarf Bloodroot
NGL New Gold Lantana	DR Pink Drift Rose
DH Dwarf Indian Hawthorne	AJ Ajai Japanese
TX Texas Sage	SC Seasonal Color
PM Palo Verde	

HATCH LEGEND

LANDSCAPE NOTES

- The project will have an underground automatic irrigation system to water all new plantings.
- Install 4" layer of shredded hardwood mulch to all planting beds.
- Install 4" steel edging between all shrub beds and grass areas.
- Shrub beds to have 8 inches of prepared planting mix (75% import topsoil, 15% composted amendment, 10% washed sand).
- Shredded hardwood mulch must contain long strands along with double shred finer material obtained from a local source.
- Install 4 inches of clean topsoil in all areas of the site disturbed by grading and construction operations. Topsoil shall be free from sticks, debris and rocks larger than 2 inches in diameter and have an organic matter level of 3 percent minimum and a pH range between 5.5 and 7.4 percent. Provide soil test analysis from a soil test laboratory showing soil makeup and organic percentage.
- Solid sod all areas disturbed by construction activities as shown on plan.



Integration studio
 Landscape Architecture • Sustainable Site Planning • Natural Resource Design
John F. Murphy, ASLA
 7809 Cross Oaks Way
 Taylor, TX 77075
 281.281.0572
 john@integrationstudio.com

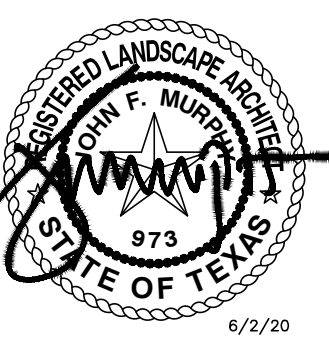
TEXAS REGISTRATION #4158
CLAYMOORE ENGINEERING
 LANDSCAPE ARCHITECTS
 1503 CENTRAL DRIVE, SUITE #408
 BEDFORD, TEXAS 76021
 817.281.0572



**PRIMROSE SCHOOL OF
 NORTH ROCKWALL
 ROCKWALL, TX 75087**

PRIMROSE SCHOOL ROCKWALL, TX 75087 LEGAL DESCRIPTION AND OR ADDRESS: A PORTION OF STONE CREEK RETAIL ADDITION LOT 8, BLOCK A 2.03 ACRES (REPLAT 2012)
OWNER: METROPLEX ACQUISITION FUND, LP 1717 WOODSTEAD CT STE 207 THE WOODLANDS, TX 77380
APPLICANT: CLAYMOORE ENGINEERING, INC. 1503 CENTRAL DRIVE, SUITE #408 BEDFORD, TX 76021 PH: 817.281.0572
CASE NUMBER: SP2020-005
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____
WITNESS OUR HANDS THIS _____ DAY OF _____
PLANNING AND ZONING COMMISSION, CHAIRMAN _____
DIRECTOR OF PLANNING AND ZONING _____

LANDSCAPE PLAN
 SHEET
L-1
 PLOT NO. 2020-005



**PRIMROSE SCHOOL OF
 NORTH ROCKWALL
 ROCKWALL, TX 75087**

PLANT LIST

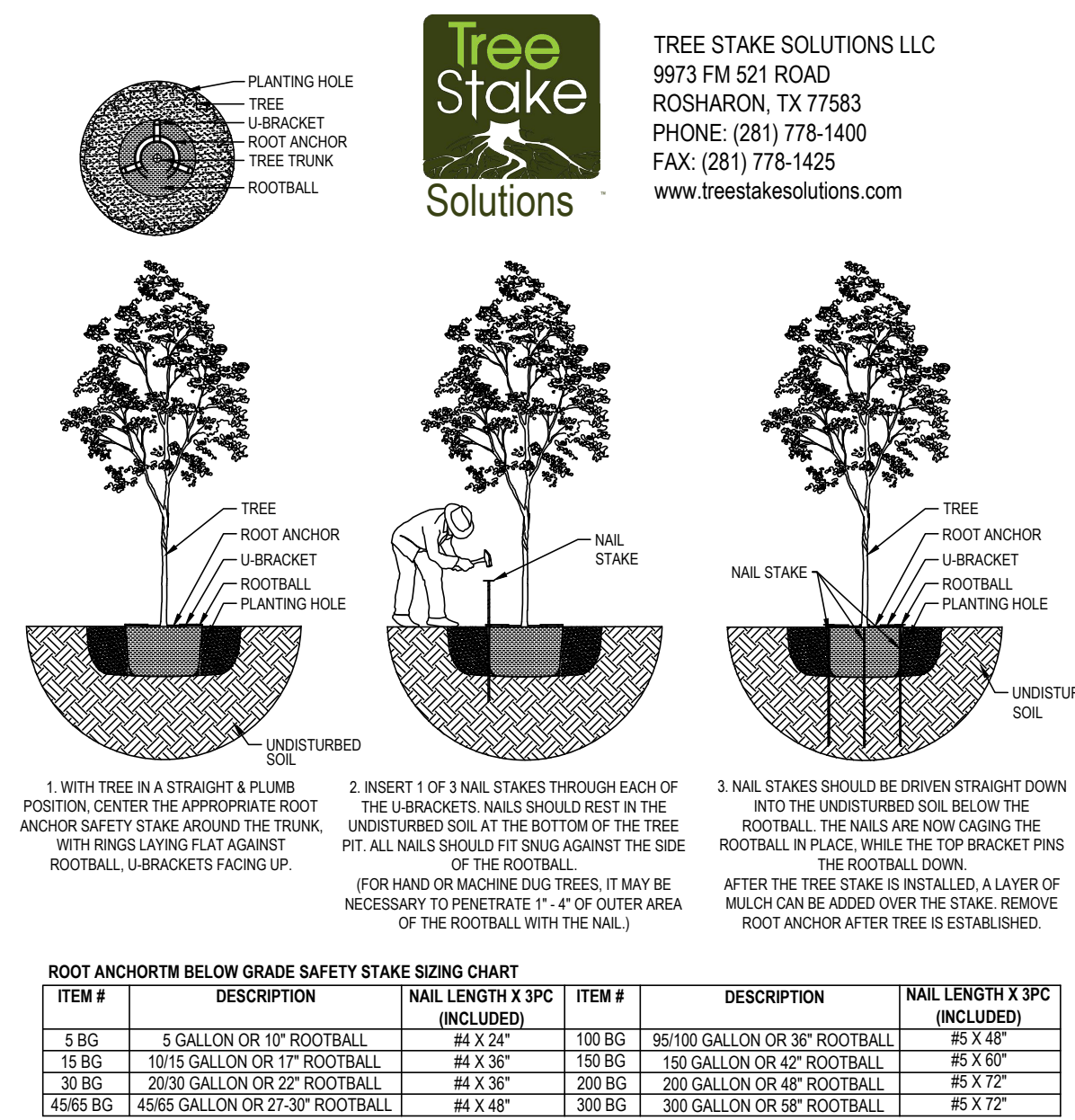
CANOPY TREES			
1	SO	Shrub Oak	4' DBH - 14' tall
2	MA	Shrub Maple	4' DBH - 14' tall
14	LO	Live Oak	4' DBH - 14' tall
4	CE	Chinese Elm	4' DBH - 14' tall

SHRUBS			
24	DA	Daylily	5' tall
11	WM	Winter Mistletoe	5' tall
14	R	Rose	5' tall
12	DIH	Daylily	5' tall
15	TX	Texas Sage	5' tall
20	PM	Prickly Pear	5' tall
10	GL	Golden Lantana	5' tall
10	AB	Abutilon	5' tall
5	BH	Bird of Paradise	10' tall
5	BX	Bird of Paradise	5' tall
10	DR	Drumstick	5' tall

GROUNDCOVERS			
100	AJ	Asiatic Jasmine	1' x 1' tall
5	SC	Shrimp Plant	1' x 1' tall
5	NGL	Native Groundcover	1' x 24" tall

LANDSCAPE CALCULATIONS

Total Land Area	50 SF	Required	Provided
Land Area	15 SF	1,200 SF	24,445 SF (400:50)
Shrub Bed Area	50 LF	Required	Provided
Shrub Coverage	15 LF	0	14
Planting Area	55	0	0
Planting Area	10	0	0
Tree M			
N			

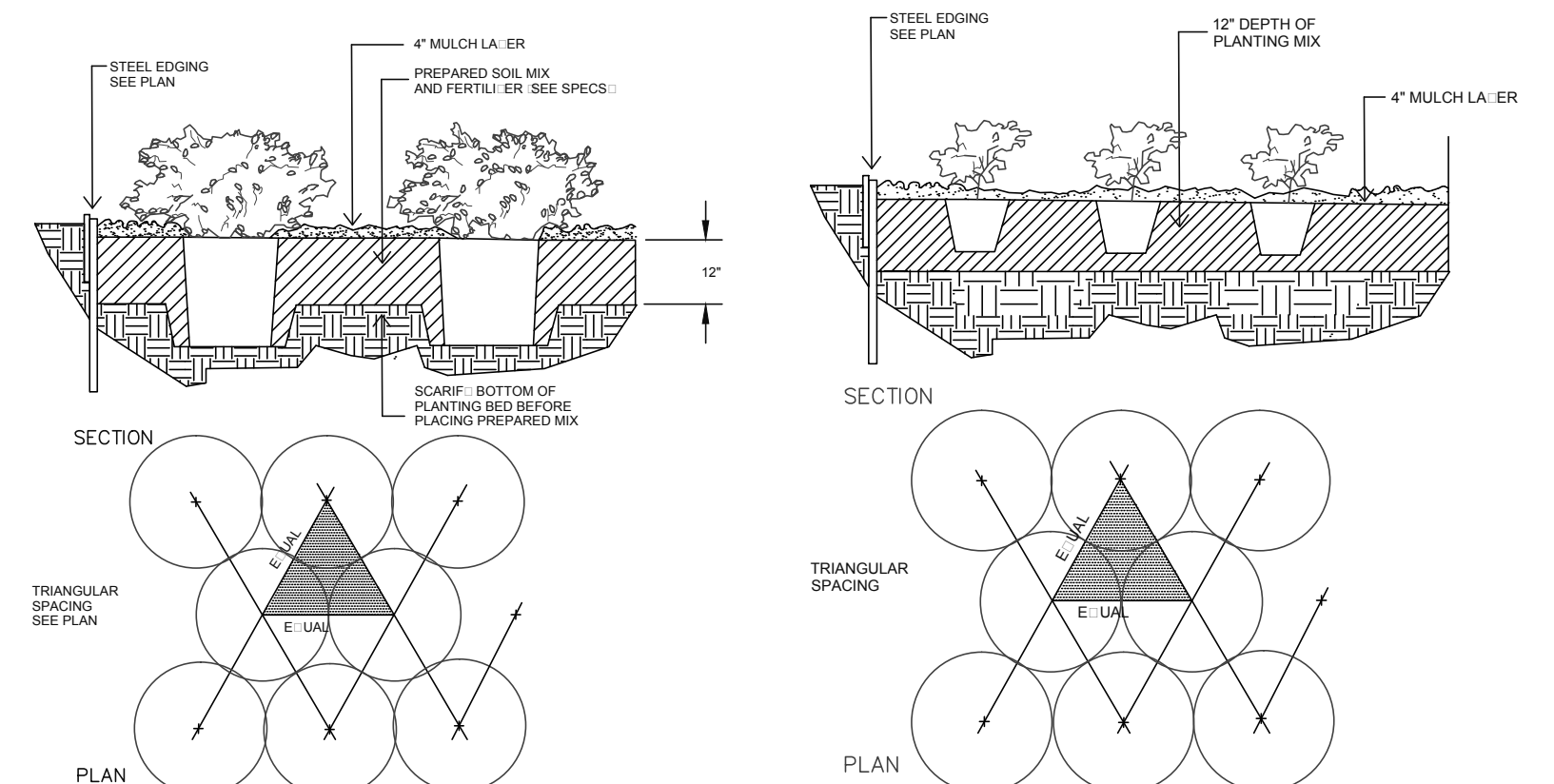


1 CANOPY TREE PLANTING
 SCALE: NONE

2 MULTI-TRUNK PLANTING
 SCALE: NONE

3 SHRUB PLANTING
 SCALE: NONE

4 GROUNDCOVER PLANTING
 SCALE: NONE



PRIMROSE SCHOOL ROCKWALL, TX 75087 LEGAL DESCRIPTION AND OR ADDRESS: A PORTION OF STONE CREEK RETAIL ADDITION LOT 1, BLOCK A 2.0 ACRES REPLAT 2012
OWNER: METROPLEX ACQUISITION FUND, LP 111 WOODSTEAD CT STE 200 THE WOODLANDS, TX 77380
APPLICANT: CLA: MOORE ENGINEERING, INC. 1100 CENTRAL DRIVE, SUITE #400 BEDFORD, TX 76021 PH: (512) 213-0522
CASE NUMBER SP2020-005

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE DATE OF _____

WITNESS OUR HANDS THIS _____ DAY OF _____

 PLANNING AND ZONING COMMISSION, CHAIRMAN

 DIRECTOR OF PLANNING AND ZONING

LANDSCAPE DETAILS

DESIGN:	LRR
DRAWN:	LRR
CHECKED:	CLC
DATE:	07/02/2020
SHEET	
L-2	
F:\N\ 2020-021	

PLOTTED BY: SCOTT WILDER
 PLOT DATE: 6/2/2020 11:34 AM
 LOCATION: C:\USERS\SCOTTWILDER\DOCUMENTS\AUTOCAD_LRD\PRIMROSE ROCKWALL\PRIMROSE ROCKWALL_L.S.DWG
 LAST SAVED: 6/2/2020 11:00 AM

PRIMROSE SCHOOL
ROCKWALL, TX 75087

LEGAL DESCRIPTION AND OR ADDRESS:
A PORTION OF STONE CREEK RETAIL ADDITION
LOT 8, BLOCK A
2.03 ACRES (REPLAT 2012)

OWNER:
METROPLEX ACQUISITION FUND, LP
1717 WOODSTEAD CT
STE 207
THE WOODLANDS, TX 77380

APPLICANT:
CLAYMOORE ENGINEERING, INC.
1903 CENTRAL DRIVE, SUITE #406
BEDFORD, TX 76021
PH: 817.281.0572

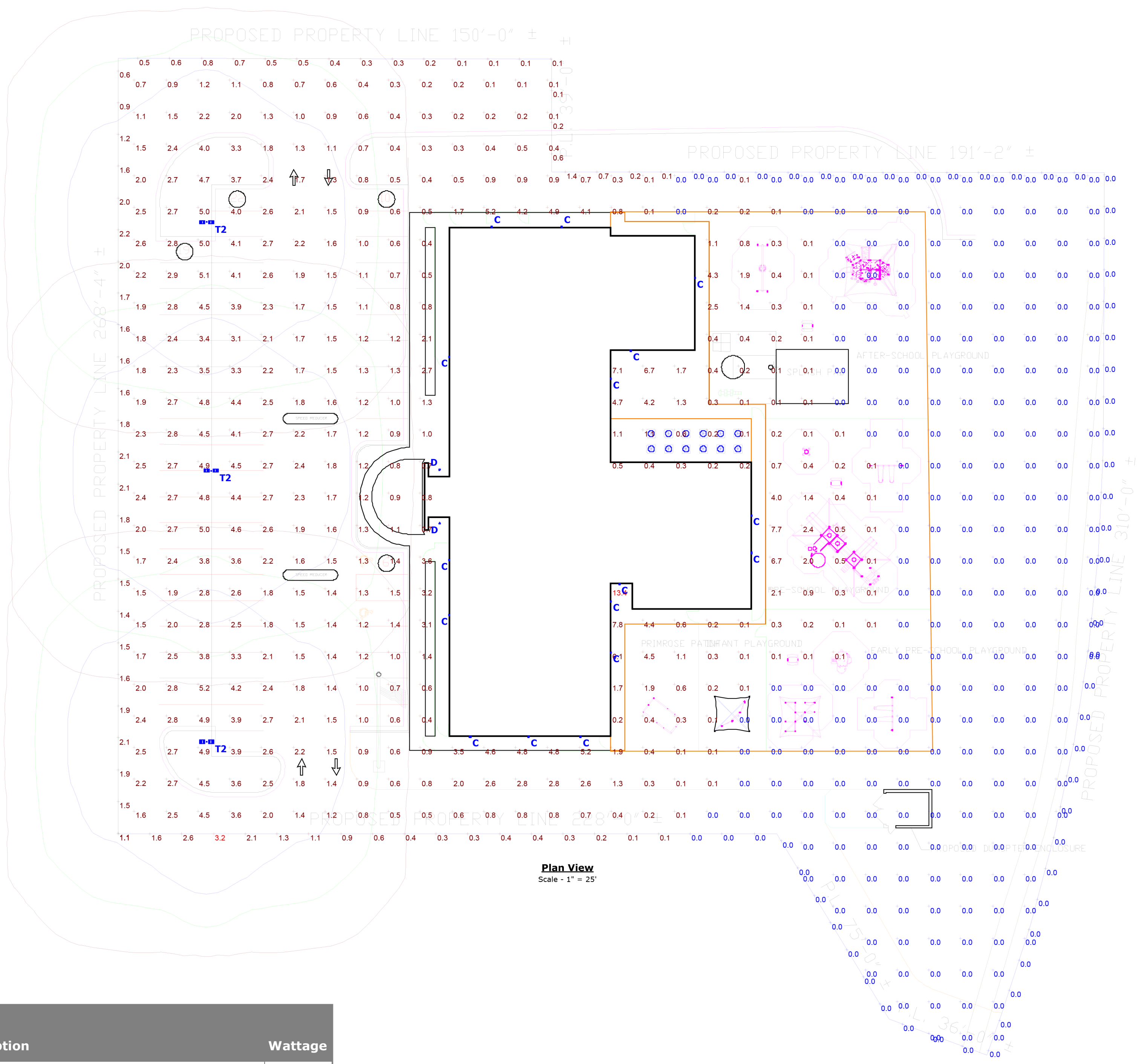
CASE NUMBER
SP2020-005

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____.

WITNESS OUR HANDS THIS _____ DAY OF _____.

PLANNING AND ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING



Plan View
Scale - 1" = 25'

Symbol	Label	Qty	Catalog Number	Description	Wattage
	T2	3	PFP RV-1-C25-T4-20-0	Double Head D180 Cooper Lighting Solutions PRV Prevail Series Pole & Fixture Combo LED Area Unit w/Type 4ME Distribution (20ft. Pole w/2ft. Base)	192
	C	16	XTOR3B	Cooper Lighting Solutions Lumark XTOR3 Series Wall Mounted Wallpack Unit (7ft. Fixture Mounting Height)	25.5
	D	2	H7ICT / RL560WH9930	Eaton Halo Brand H7ICT Series Insulated Ceiling Recessed Housing w/ TCP LED14 Series Downlight Module Unit	13.5

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line Light Levels	+	0.6 fc	3.2 fc	0.0 fc	N/A	N/A
Site Light Levels	+	1.1 fc	13.4 fc	0.0 fc	N/A	N/A

Designer
Adam Carrier
Date
5/29/2019
Scale
Not to Scale
Drawing No.
Summary

PRIMROSE SCHOOL
BORDEAUX DRIVE &
STONE CREEK DRIVE
NORTH ROCKWALL, TX

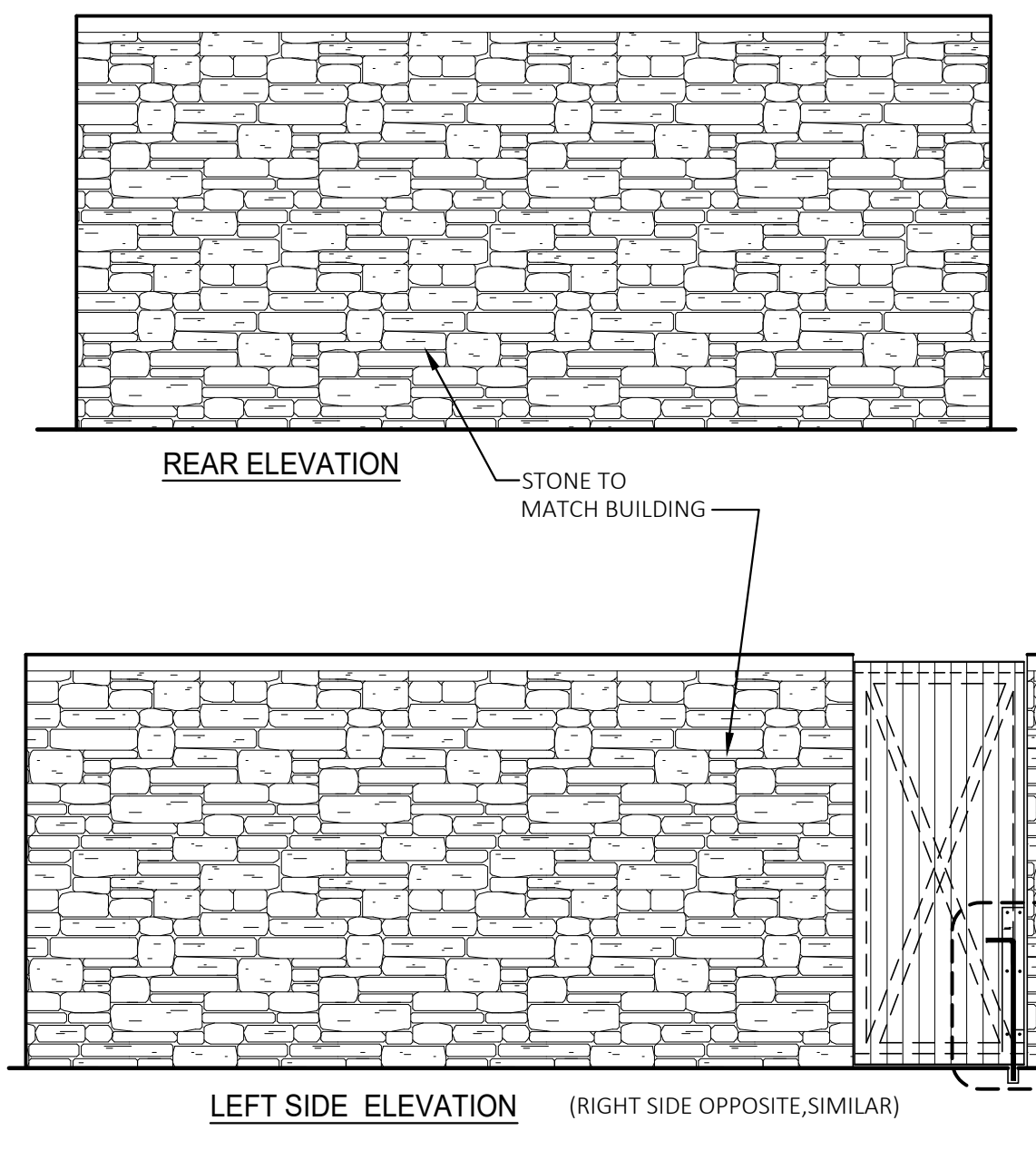
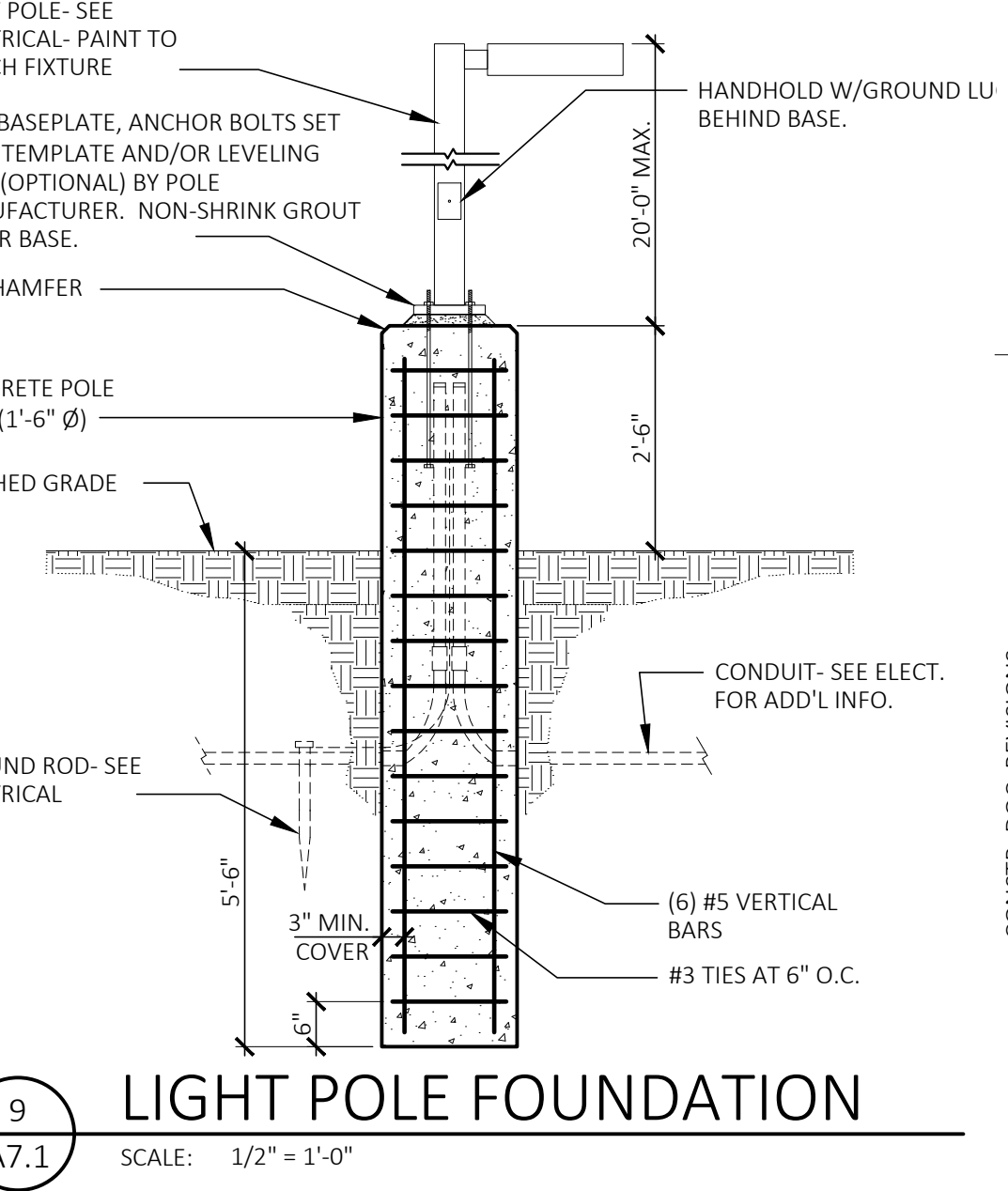
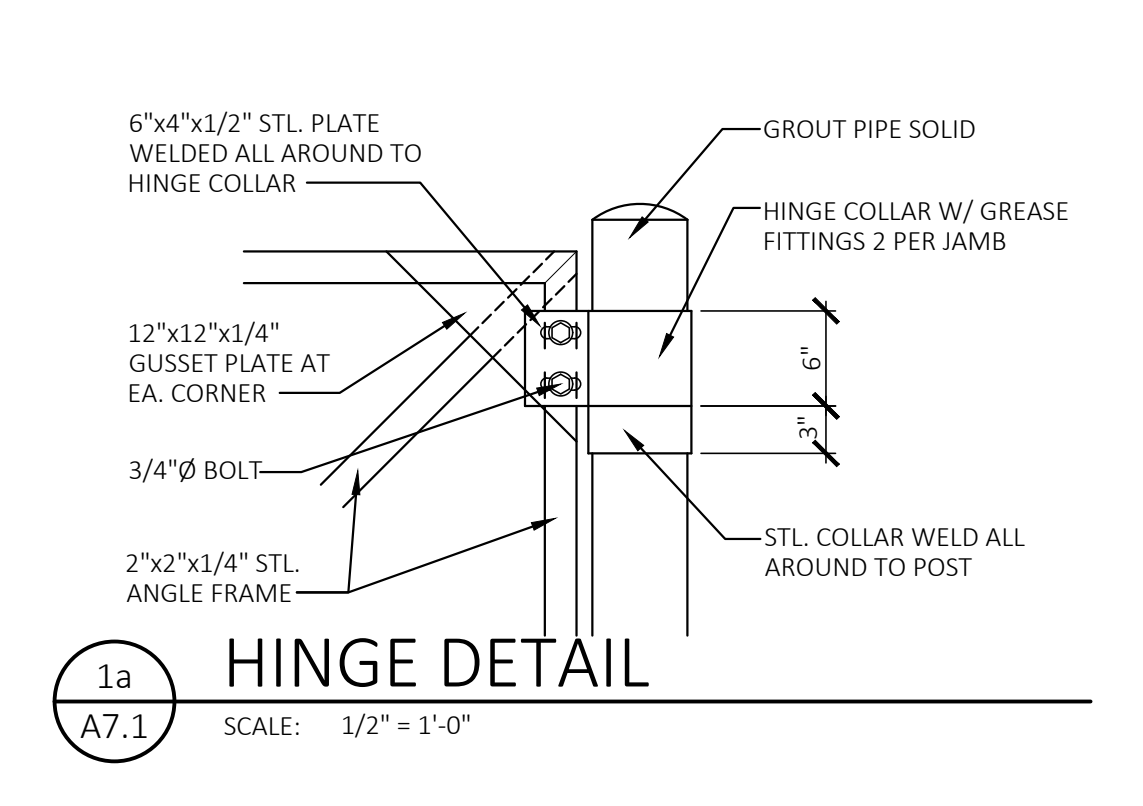
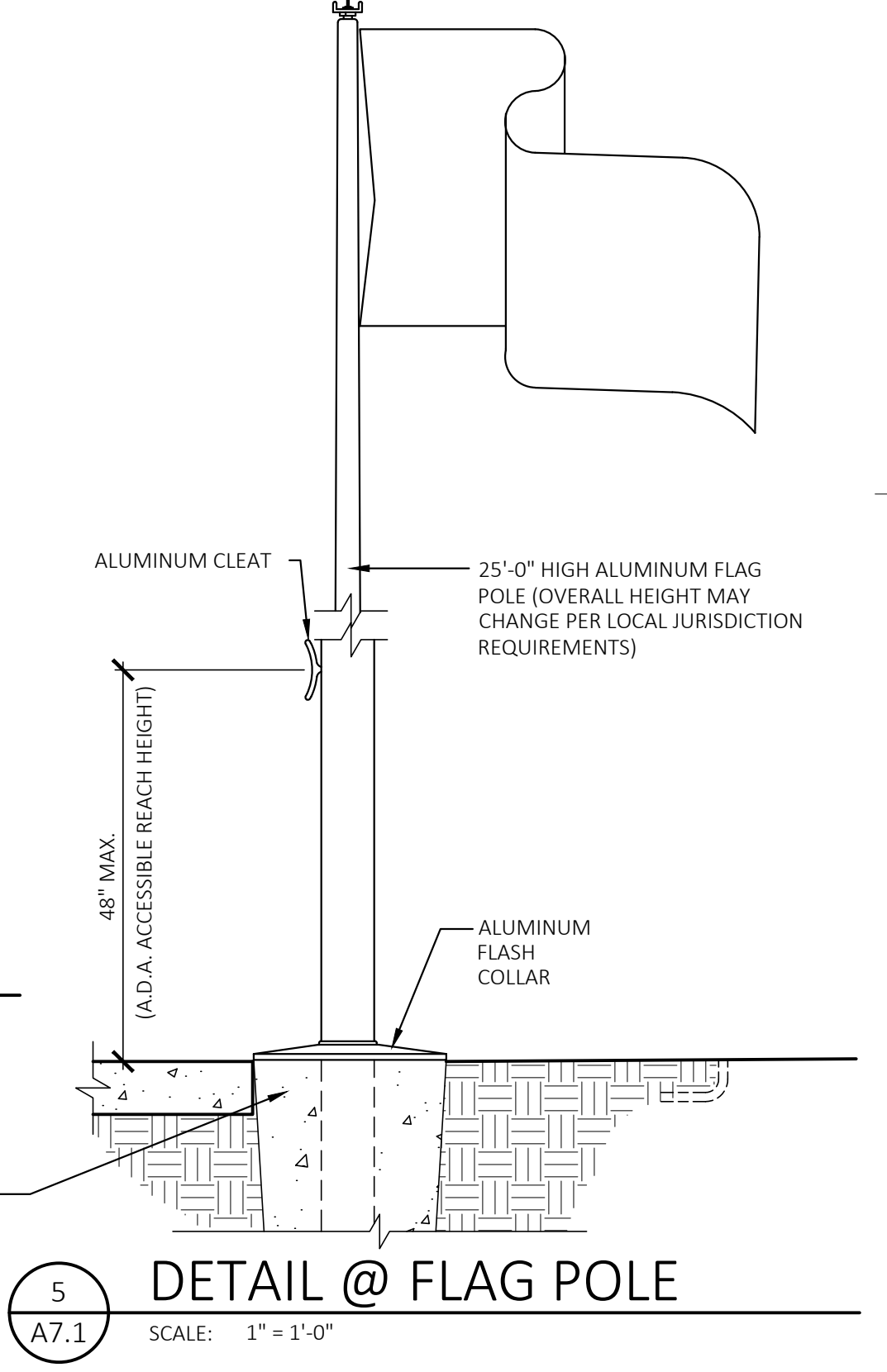
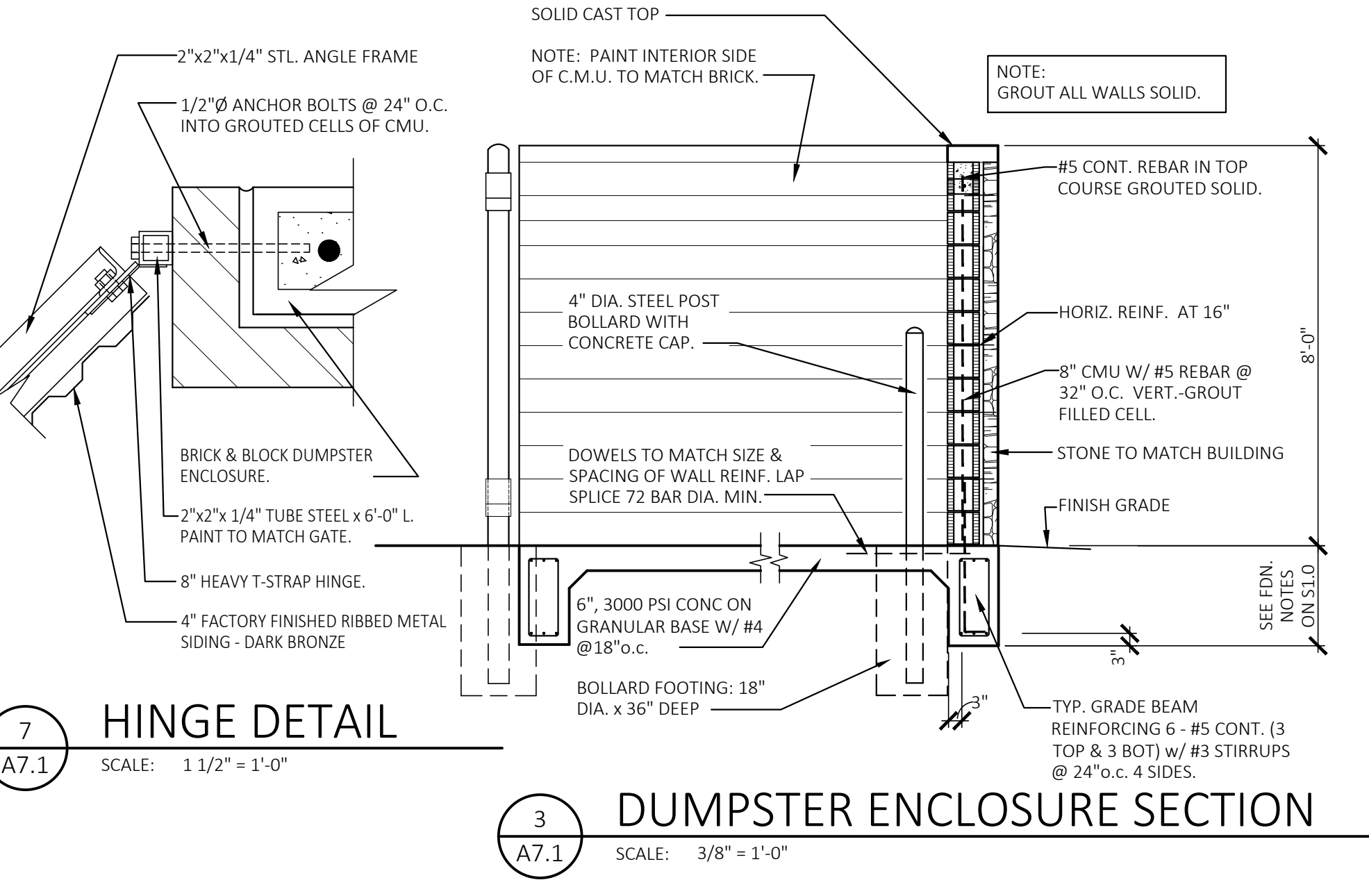
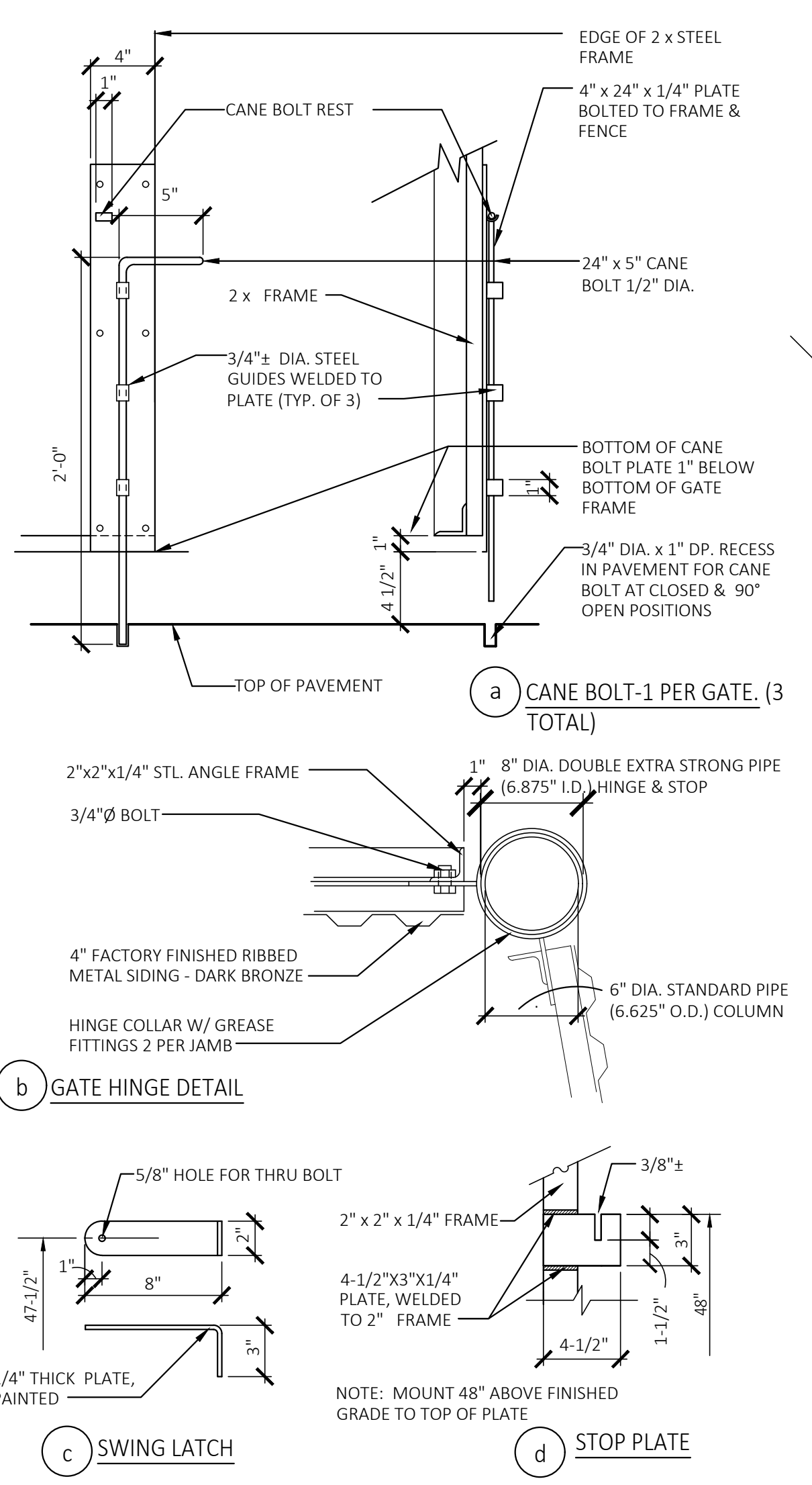
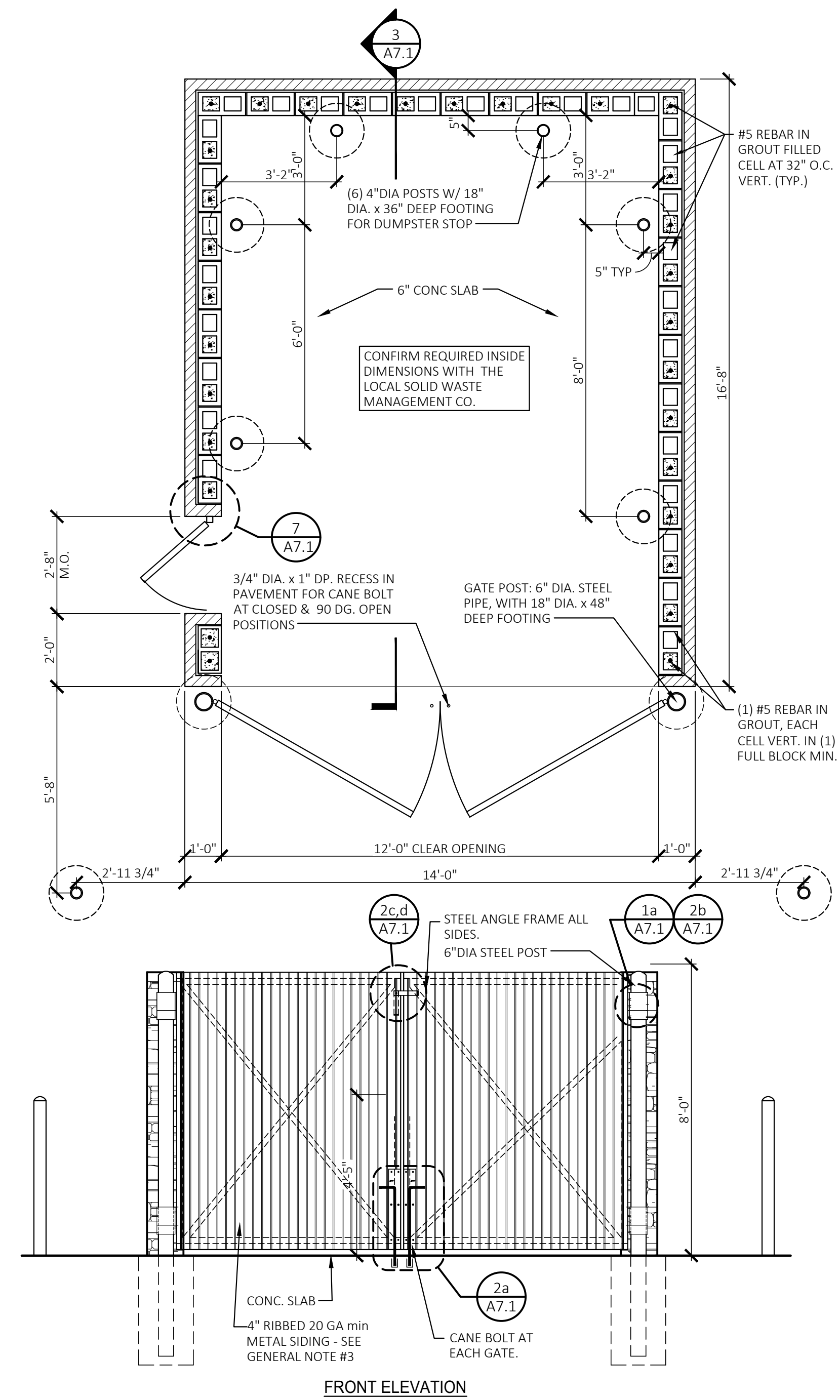


PRIMROSE SCHOOL FRANCHISING COMPANY
3300 WINDY HILL ROAD, SUITE 1200 E
ATLANTA, GEORGIA 30339-5640
THESE DRAWINGS AND THE DESIGN REPRESENTED HEREIN ARE THE EXCLUSIVE PROPERTY OF PRIMROSE SCHOOL FRANCHISING CO. REPRODUCTION OR ANY USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT THE EXPRESS WRITTEN CONSENT OF PRIMROSE SCHOOL FRANCHISING CO. IS PROHIBITED. ANY UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

Date:

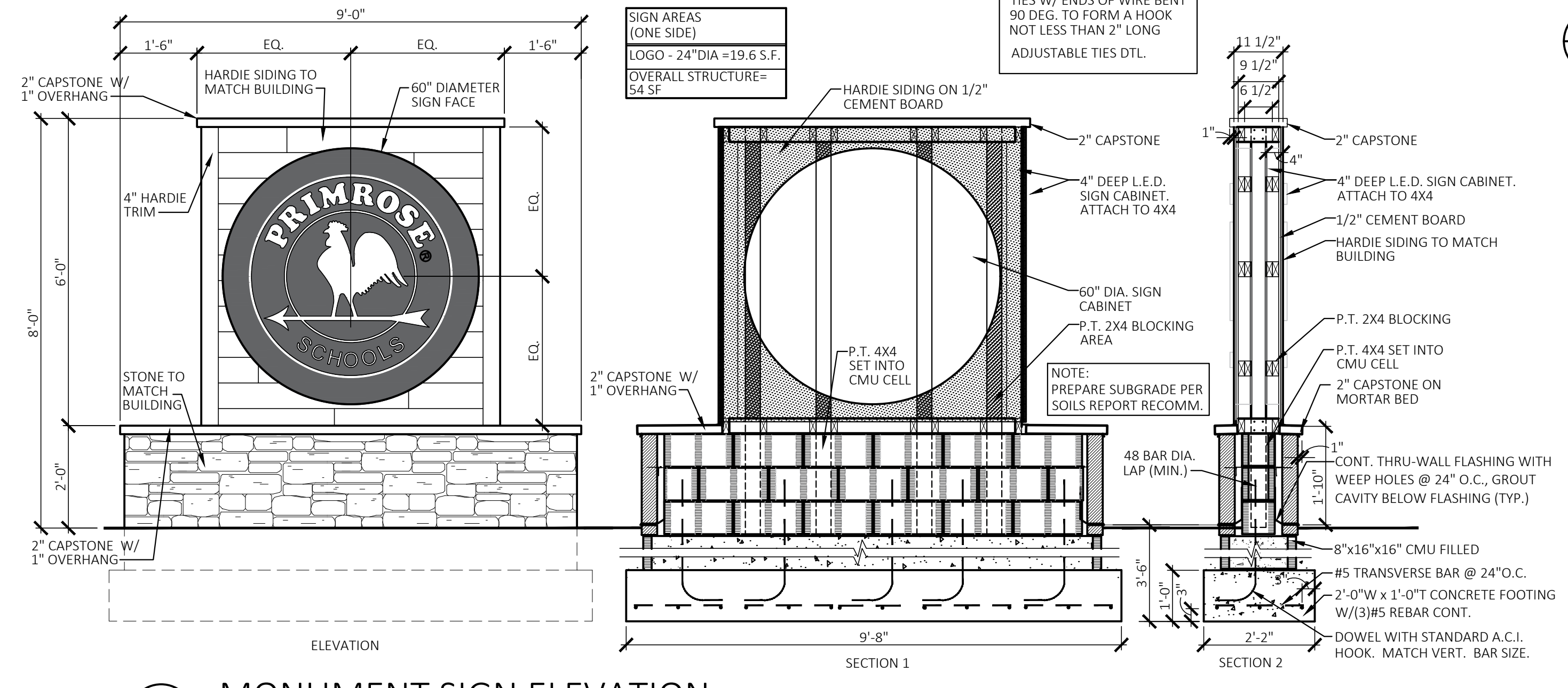
CONSTR. DOC. REVISIONS

Description	No.



GEN. NOTES

- STEEL POSTS SHALL BE SET A MINIMUM OF 36" INTO CONCRETE.
- BRICK COLOR TO MATCH THE BRICK ON THE BUILDING, U.N.O.
- PAIN DUMPSTER GATE, POST, HINGES AND ACCESSORIES AS SPECIFIED ON "EXTERIOR FINISH SCHEDULE".



1 DUMPSTER PLAN & ELEVATIONS
SCALE: 3/8" = 1'-0"

8 MONUMENT SIGN ELEVATION
SCALE: 1/2" = 1'-0"

PRIMROSE SCHOOL ROCKWALL, TX 75087
LEGAL DESCRIPTION AND OR ADDRESS: A PORTION OF STONE CREEK RETAIL ADDITION LOT 8, BLOCK A 2.03 ACRES (REPLAT 2012)
OWNER: METROPLEX ACQUISITION FUND, LP 1717 WOODSTEAD CT STE 207 THE WOODLANDS, TX 77380
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572
CASE NUMBER SP2020-005
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WITNESS OUR HANDS THIS _____ DAY OF _____
PLANNING AND ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

Drawn By/Checked By: DCD/KMM

Project Number: 919579

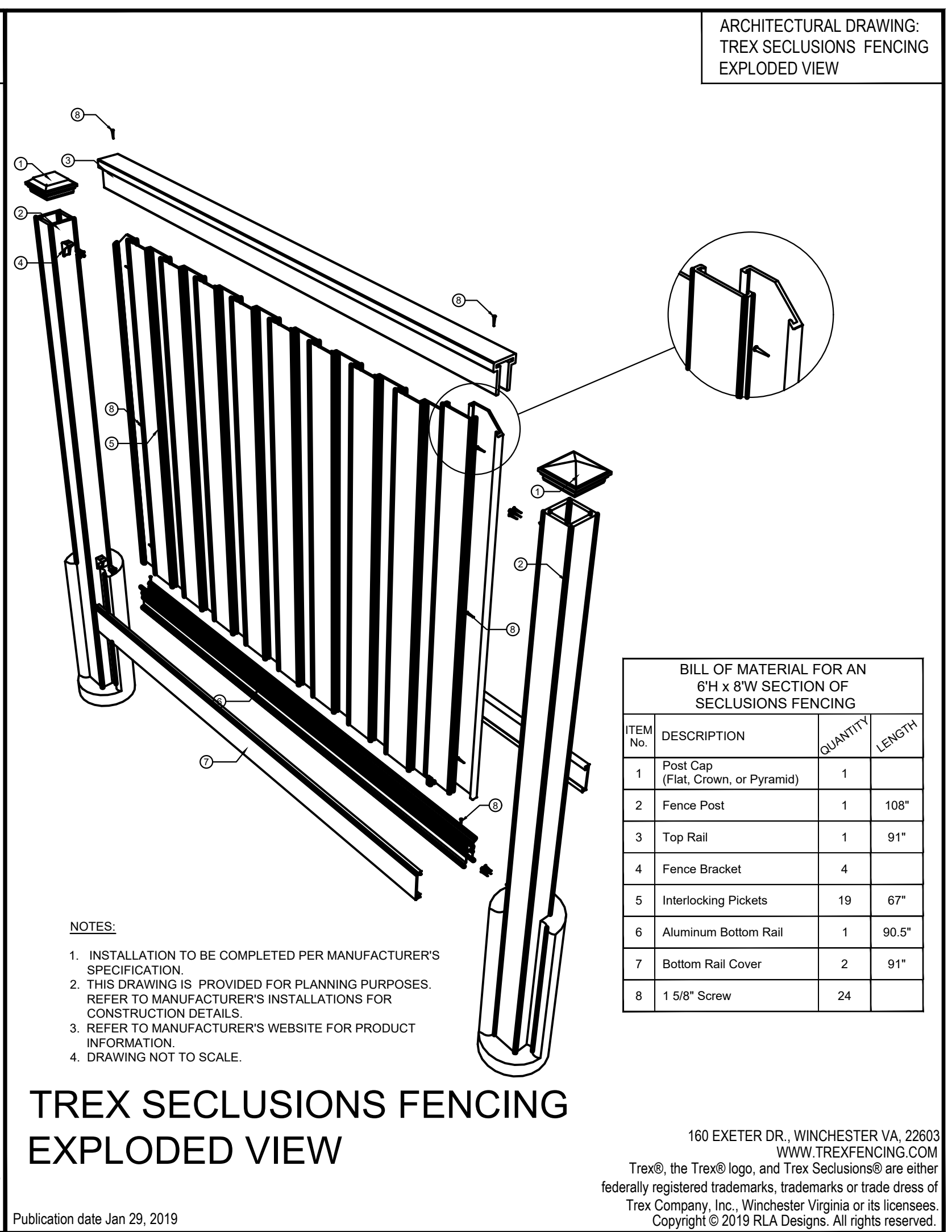
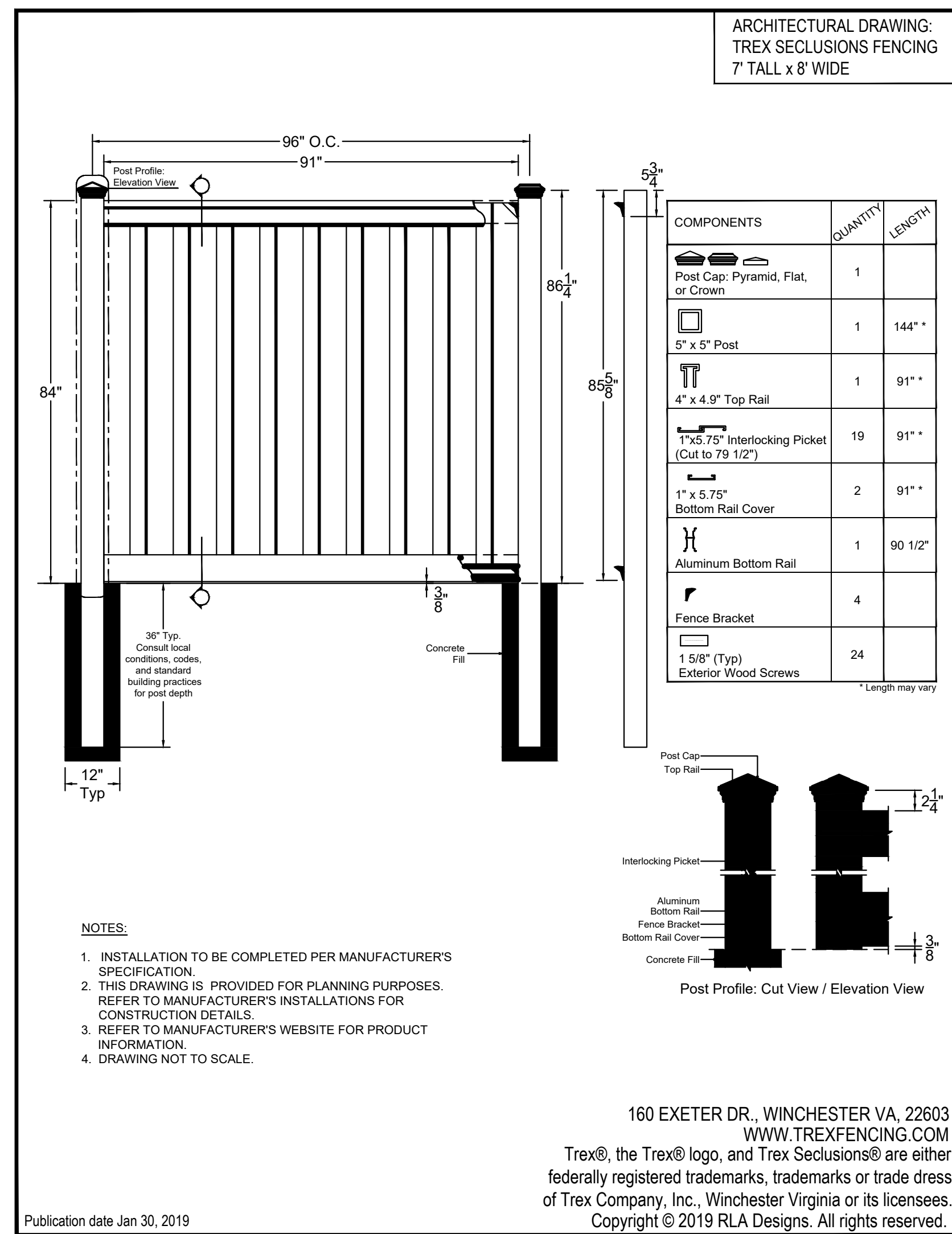
Bid Date: -/-/-

Permit Date: -/-/-

For Construction: -/-/-

SITE DETAILS

A7.1
6/1/2020



TREX SECLUSIONS FENCING
EXPLODED VIEW

1 MANUFACTURER'S DETAILS
A7.2 SCALE: 3/8" = 1'-0"

THIS DETAIL PROVIDED FOR REFERENCE ONLY

PRIMROSE SCHOOL
BORDEAUX DRIVE &
STONE CREEK DRIVE
NORTH ROCKWALL, TX



PRIMROSE SCHOOL FRANCHISING COMPANY
3300 WINDY HILL ROAD, SUITE 1200 E
ATLANTA, GEORGIA 30339-5640
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CONSTR. DOC. REVISIONS	Date
Description	
No.	

PRIMROSE SCHOOL ROCKWALL, TX 75087
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APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572
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WITNESS OUR HANDS THIS ____ DAY OF _____.
PLANNING AND ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING AND ZONING

Drawn By/Checked By: DCD/KMM
Project Number 919579
Bid Date --/--/--
Permit Date --/--/--
For Construction --/--/--

SITE DETAILS
A7.3
6/1/2020
SP2020-05



June 2, 2020

Mr. David Gonzales
City of Rockwall
385 S. Goliad Street
Rockwall, TX 75087
Phone: 972.772.6434

Re: Site Plan – SP2020-005 Primrose Rockwall – Variance Request Letter

Dear Mr. Gonzales,

Primrose School of Rockwall has plans to develop a 2.03 acres site located generally at the NWC of Bordeaux Drive and Stone Creek Drive. The site is platted as Lot 8 Block A of the Stone Creek Retail Addition

VARIANCE REQUEST DETAILS:

The applicant is requesting approval to provide two (2) compensatory for each variance listed below.

Variance #1: Allow the building to exceed the maximum percentage for cementitious lap siding on the North, South and East elevations.

Compensatory Measures;

- Added cupola with weather vane to the west elevation
- Clad the front entry in stone (brings the stone percentage for the elevation to double the requirement.)

Variance #2: Allow the North and South elevations to not meet the articulation standards for horizontal elevations.

Compensatory Measures;

- Added (4) gables to project above wall height to West Elevation (in addition to entry feature which is required.)
- Added decorative shutters to the West and East Elevations

Thank you and please call if you have any comments or need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "Clay Cristy".

Clay Cristy, PE



June 2, 2020

Mr. David Gonzales
City of Rockwall
385 S. Goliad Street
Rockwall, TX 75087
Phone: 972.772.6434

Re: Site Plan- Primrose Rockwall- SP2020-005

Dear Mr. Gonzales:

This letter is to specify the timing of the corner enhanced amenity (Ord No. 09-01, PD 70 Development Plan), which will be located at the southeast corner of the development. The corner enhanced amenity will be a part of the future development of the adjacent parcel and will not be constructed with the proposed Primrose School. The amenity will be developed at a later time with the future development of the site.

Thank you and please call if you have any comments or need additional information.

Sincerely,

A handwritten signature in blue ink, appearing to read "Clay Cristy". The signature is stylized and fluid.

Clay Cristy, PE



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 6, 2020
APPLICANT: Mallory Laremore
CASE NUMBER: SP2020-009; *Site Plan for 1006 Ridge Road (Chicago Title)*

SUMMARY

Discuss and consider a request by Mallory Laremore on behalf of Corby Bell and Mandy Norman for the approval of a Site Plan for an office building on a 0.330-acre tract of land identified as Tract 23 of the B. J. T. Lewis Survey, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed 1006 Ridge Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on June 20, 1959 by *Ordinance No. 59-02*. Based on the City's historic zoning maps the subject property was zoned Single-Family 2 (SF-2) District as of January 3, 1972. This designation was changed to Single-Family 10 (SF-10) District as of May 16, 1983. On July 1, 2003, the subject property was rezoned from Single-Family 10 (SF-10) District to Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses by *Ordinance No. 02-33*. According to the Rockwall Central Appraisal District (RCAD), a 1,254 SF single-family home (*1,106 SF of Living Area*) was constructed on the property in 1980. Staff should point out that this is one (1) of the two (2) single-family homes left in Planned Development District 53 (PD-53) that has not been converted to a non-residential land use.

Prior to May 12, 2020, City staff had received complaints that a business had opened up at 1006 Ridge Road without receiving a Certificate of Occupancy (CO) or converting the property to accommodate a non-residential land use (*i.e. employees were parking on adjacent properties and on more than one [1] occasion people accessing the property utilized the residential driveway on the property directly west of the subject property*). Staff should also note that several phone calls between representatives of the business and staff had transpired prior to receiving these complaints and that staff had explained to the property owner what steps would be required to legally operate a business on the property. Based on this information, on May 12, 2020, City staff hand delivered a cease and desist letter to Mallory Laremore. This letter outlined the steps the property owner needed to complete prior to being able to commence operating the business on the subject property. In accordance with this letter, the applicant has submitted a site plan.

PURPOSE

The applicant -- *Mallory Laremore* -- is requesting the approval of a site plan for the purpose of converting an existing single-family home into an office in a Residential-Office (RO) District.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1006 Ridge Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Summit Ridge Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 0.651-acre parcel of land (*i.e. Lot 3, Block A, Lee Rhoades Subdivision*) zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses. North of this parcel of land is the L & W Subdivision, which is zoned Single-Family 10 (SF-10) District and consists of 13 single-family residential lots.

South: Directly south of the subject property are one (1) single-family home and eight (8) single-family homes that have been converted to office buildings (*i.e. Michael E. Goodman Attorney's Office, the Pregnancy Center, Gussio Law Office, Behavioral Transformations Counseling Center, Dyer Insurance Office, RTB Services, LLC, Allstate Insurance Office, and Rockwall Counseling and Wellness*). All of these properties are zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses.

East: Directly east of the subject property is Ridge Road, which is identified as a M4U (*major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Directly east of this is retail store with gasoline sales (*i.e. 7/11 Gas Station*) that is zoned Commercial (C) District. Beyond this is S. Goliad Street, which is designated as a P6D (*principal arterial, six [6] lane divided roadway*) on the City's Master Thoroughfare Plan.

West: Directly west of the subject property is Ridge Road Village, which is zoned Single-Family 10 (SF-10) District and consists of 185 single-family residential lots on ~79.21-acres.

DENSITY AND DIMENSIONAL REQUIREMENTS

The applicant is proposing to convert the existing 1,254 SF single-family home into an office building. The site plan shows that the applicant will be constructing a 24-foot cross access easement extending from Summit Ridge Drive and connecting into the adjacent property (*i.e. 1008 Ridge Road*). Located off of the 24-foot cross access easement will be nine (9) parking spaces, which exceeds the required parking of one (1) parking space per 300 SF of building area (*i.e. required parking is five [5] parking spaces*). In addition, the applicant will be paving the remaining five (5) foot joint access drive located along the southern property line, and which is shared between the subject property and 1008 Ridge Road. The existing residential driveway, fronting onto Ridge Road, currently serving the single-family home on the subject property will be removed with this project.

With the exception of the variances being requested the submitted site plan and landscape plan generally conform to the technical requirements contained within the UDC for a property located within Planned Development District 53 (PD-53) and designated for Residential-Office (RO) District land uses. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6,000 SF</i>	<i>14,374.80 SF; In Conformance</i>
<i>Minimum Lot Frontage</i>	<i>60'</i>	<i>50.49'; Lot of Record Conformance</i>
<i>Minimum Lot Depth</i>	<i>100'</i>	<i>170.78'; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>25'</i>	<i>30.4'; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>30'</i>	<i>x>87'; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10'</i>	<i>16.6'; In Conformance</i>
<i>Minimum Side Yard Setback Adjacent to a Street</i>	<i>20'</i>	<i>13.5'; Legal Non-Conforming</i>
<i>Maximum Building Height</i>	<i>36'</i>	<i>28'; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>40%</i>	<i>8.4%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1/300 SF [5]</i>	<i>9 Parking Spaces; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>30%</i>	<i>52.31%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>75%-80%</i>	<i>38.60%; In Conformance</i>

TREESCAPE PLAN

The proposed site plan does not show the removal of any existing trees on the subject property.

CONFORMANCE WITH THE CITY'S CODES

According to the Unified Development Code (UDC), "(t)he Residential-Office (RO) District is a zoning district intended to recognize the existence of older residential areas of the City, where larger houses have been or can be converted from single-family or multi-family residences to low-intensity office uses in order to extend the economic life of these structures, and to allow the owners to justify the expenditures for repairs and modernization." In this case, the single-family home at 1006 Ridge Road is situated on Ridge Road at the corner of Summit Ridge Drive and Ridge Road, which carries traffic volumes that are typically

higher than normal for a single-family home. In addition, the subject property is a part of Planned Development District 53 (PD-53), which was established to allow properties fronting onto Ridge Road the ability to convert to a low intensity office land use from a single-family land use. This flexibility was intended to extend the useful life of these properties while providing a low-intensity transition from a major roadway to an existing single-family neighborhood.

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

The applicant is not requesting any variances or exceptions with this request; however, staff has asked the applicant to forego the required screening adjacent to the residential property directly west of the subject property to plant accent trees (*i.e. crape myrtle*) on five (5) foot centers along the western property line. According to Subsection 08.04, *Non-Residential Fences*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "... wood fences proposed in a Residential-Office (RO) District ... shall be permitted on properties that have adjacency with a residential zoning district, residentially used property, or a property that has an existing wood fence." The purpose behind staff's request is tied to an agreement that was made with the property owner at 109 Summit Ridge Drive during the site planning process for 1010 Ridge Road (*Case No. SP2015-014*). During this site plan case, staff met with the property owner at 109 Summit Ridge Drive to talk about issues that the property owner was having concerning vehicles using their residential driveway to access 1008 Ridge Road. To remedy this situation, the property owner asked the owners of 1010 Ridge Road to plant accent trees on five (5) foot centers along their western property line. The City also secured permission from the property owner at 1008 Ridge Road to continue this screening scheme to the edge of the property line at 1006 Ridge Road. At the time, the intent was to add this same screening scheme to 1006 Ridge Road when the property was converted to an office land use. Staff has recently spoke to the property owner at 1006 Ridge Road, who has stated that he would like the accent trees planted in lieu of the screening required by the Unified Development Code (UDC). With all this being said, staff does not have the ability to administratively grant this variance, and this request will require approval from the Planning and Zoning Commission.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *South Lakeshore District* and is designated for *Live/Work* land uses. According to the *District Strategies* for this district, "(t)he live/work designations in this district are intended to provide a low intensity transition from residential to office for properties that front onto Ridge Road [*FM-740*]." In this case, the applicant's request appears to conform with all applicable guidelines of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB):

Since the applicant is not requesting to change the appearance of the existing single-family home no recommendation was required from the Architectural Review Board (ARB).

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a site plan to convert a single-family home into an office building, then staff would propose the following conditions of approval:

- (1) Prior to the issuance of a Certificate of Occupancy (CO) the applicant will need to plat the property in conformance to the approved site plan and dedicate all the required access easements;
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING

CASE NO. SP 2020-009

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1006 Ridge Road
 Subdivision Ridge Road Village Addition Lot 3 Block D
 General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Residential Current Use Renovating for Office Use
 Proposed Zoning Commercial Proposed Use Office Bldg
 Acreage .30 Lots [Current] _____ Lots [Proposed] _____

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> Owner <u>Corby Bell</u>	<input type="checkbox"/> Applicant _____
Contact Person <u>Mandy Norman</u>	Contact Person <u>Mallory Laremore</u>
Address <u>1006 Ridge Road</u>	Address <u>1006 Ridge Road</u>
City, State & Zip <u>Rockwall, TX 75087</u>	City, State & Zip <u>Rockwall, TX 75087</u>
Phone <u>214 535 3382</u>	Phone <u>972 977 5442</u>
E-Mail <u>mandy@dormanbell.com</u>	E-Mail <u>Mallory@cttxeast.com</u>

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Corby Bell [Owner] the undersigned, who stated the information on this application to be true and certified the following:

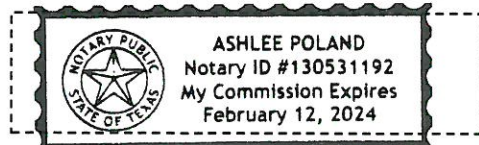
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 270.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 17 day of April, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 17th day of April, 2020.

Owner's Signature


Notary Public in and for the State of Texas

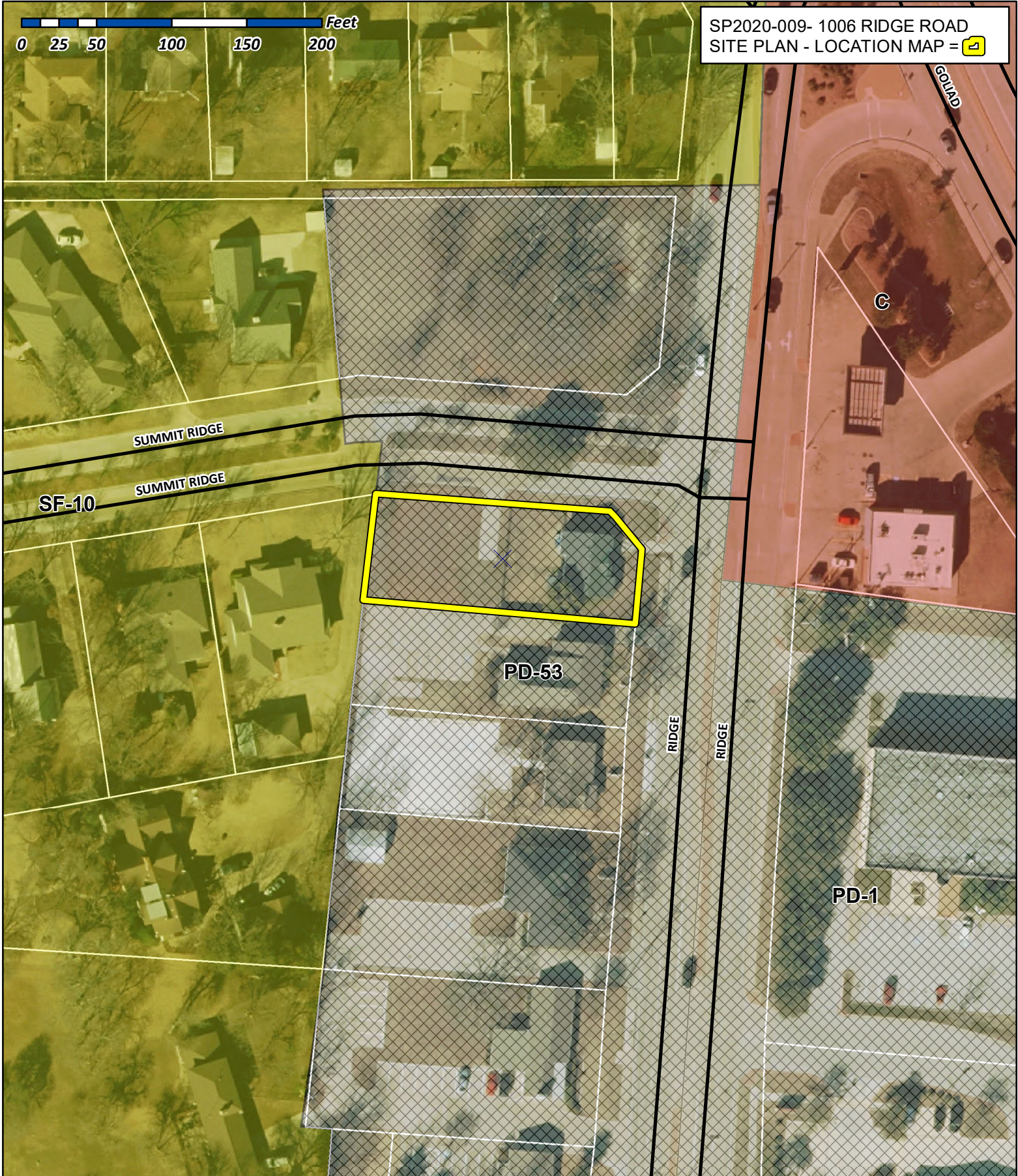
Ashlee Poland



My Commission Expires 02/12/2024

0 25 50 100 150 200 Feet

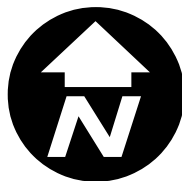
SP2020-009- 1006 RIDGE ROAD
SITE PLAN - LOCATION MAP = 

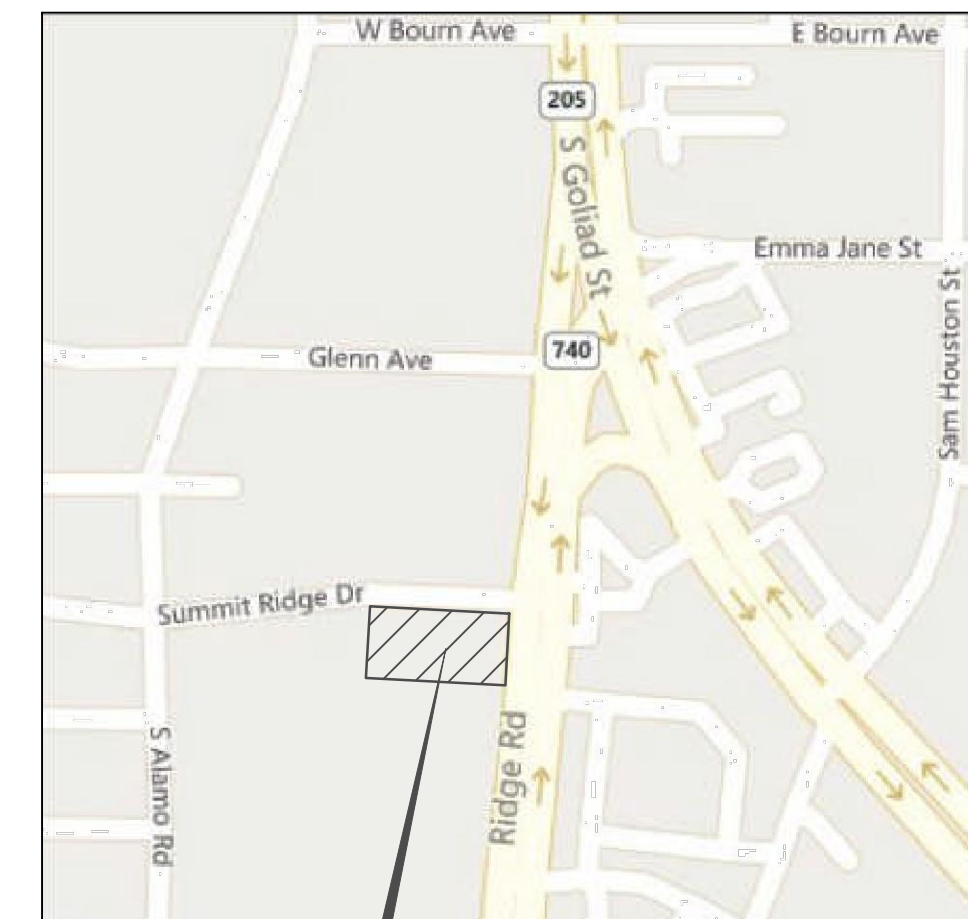
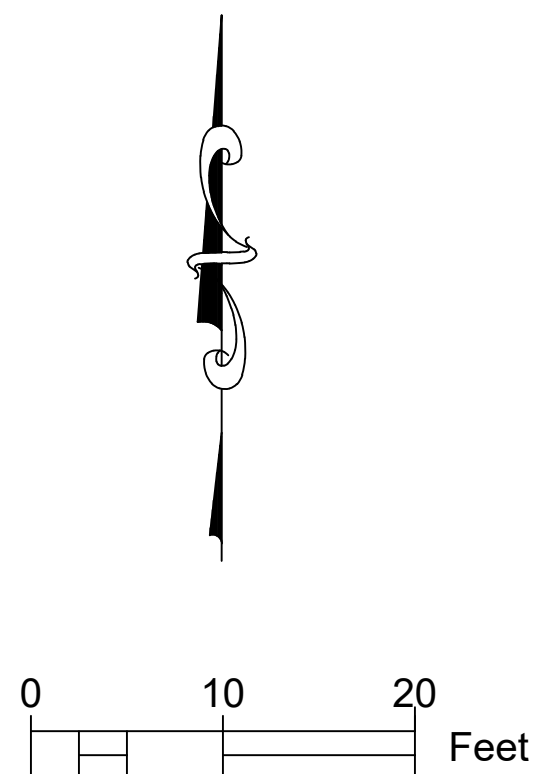


City of Rockwall

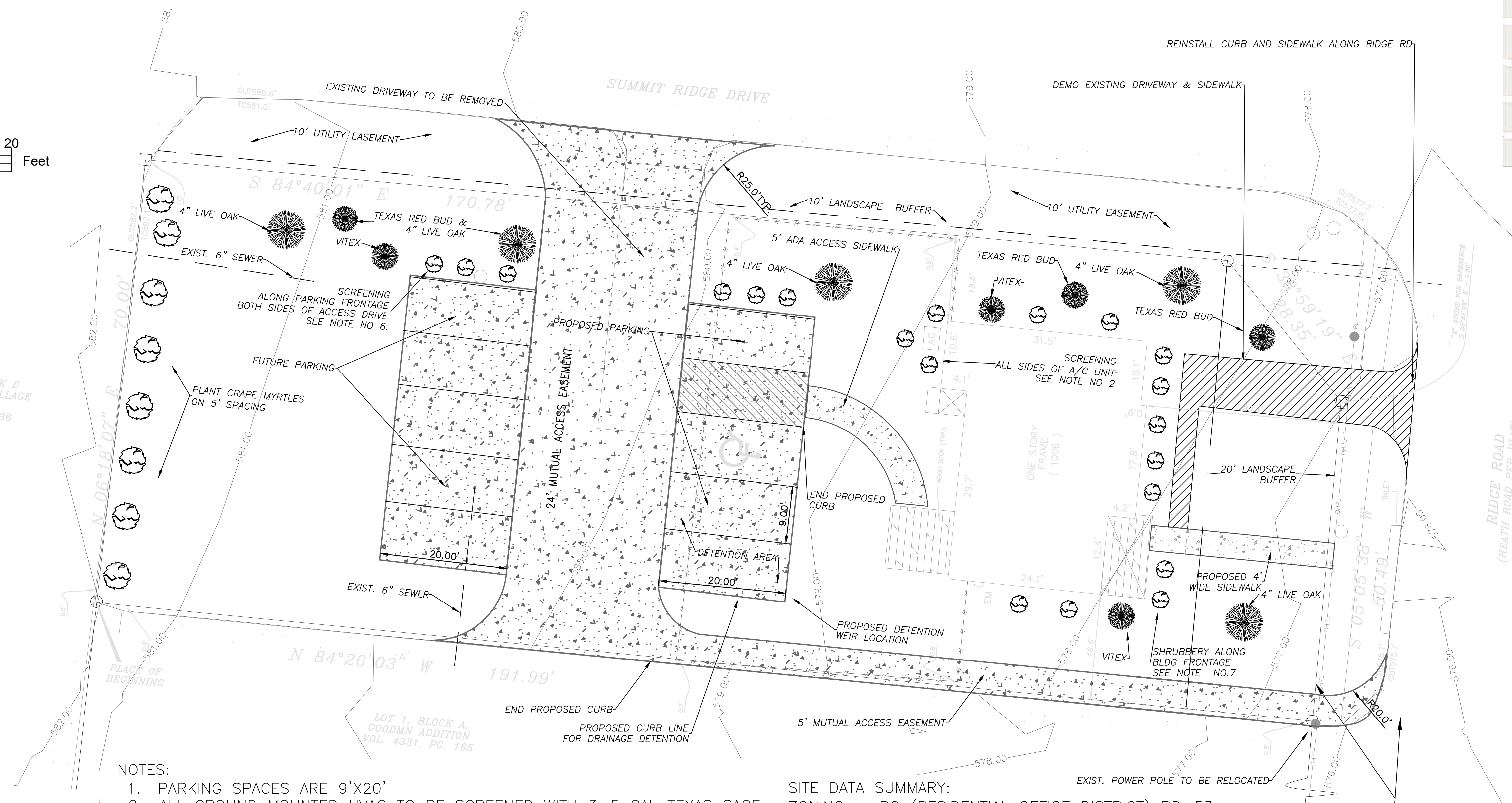
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





PROJECT LOCATION



NOTES:

1. PARKING SPACES ARE 9'X20'
2. ALL GROUND MOUNTED HVAC TO BE SCREENED WITH 3-5 GAL TEXAS SAGE BUSHES
3. EXTERIOR SIDE LIGHTING IS BUILDING WALL PACK WITH DOWN CAST ILLUMINATION
4. 1- 4" LIVE OAK, 1-TEXAS RED BUD, 1-VITEX TO BE PLANTED AS SHOWN FRONTING RIDGE RD
5. IN LIEU OF THE RESIDENT SCREENING CRAPE MYRTLES ARE TO BE PLANTED AT SAME 5' SPACING AS 1008 RIDGE RD ALONG WEST PROPERTY LINE
6. SCREEN PARKING FRONTAGE WITH LANDSCAPED WITH A MIXTURE OF 3-7 GAL TEXAS SAGE DESPERADO & 3-5 GAL WAX LEAF LIGUSTRUM BUSHES
7. LANDSCAPE BLDG FRONTAGE & SIDES WITH 16-5 GAL TEXAS RED YUCCA PLANTS
8. 2 TEXAS RED BUDS, 4-4" LIVE OAKS, 2 VITEX TO BE PLANTED ALONG SUMMIT RIDGE FRONTAGE AS SHOWN
9. ALL MUTUAL ACCESS EASEMENTS TO BE PAVED PER CITY OF ROCKWALL STANDARDS OF DESIGN

SITE DATA SUMMARY:

ZONING: RO (RESIDENTIAL OFFICE DISTRICT) PD-53
 PROPOSED USE: BUSINESS OFFICE
 BUILDING SQUARE FOOTAGE: 1123 SF
 BUILDING FOOTPRINT: 1123 SF
 BUILDING HEIGHT: 28 FT
 LOT COVERAGE: 8.4%
 PARKING SPACES REQUIRED: 1 SPACE/300 SF= 4
 HANDICAP PARKING REQUIRED: 1
 PARKING SPACES PROVIDED: 4
 HANDICAP PARKING PROVIDED: 1
 INTERIOR LANDSCAPING REQUIRED: 30%
 INTERIOR LANDSCAPING PROVIDED: 58% 7519 SF
 TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE=5549 SF

OWNER

DORMAN BELL & KRAMER
CHICAGO TITLE
 1006 RIDGE ROAD
 ROCKWALL, TEXAS 75087
 (972) 977-5442

SURVEYOR

BURNS SURVEYING
 7509 PENNRIDGE CIRCLE
 ROWLETT, TEXAS 75088
 214-326-1090
 Firm Registration no. 10194366

CASE NO. SP2020-009

DOUPHRADE & ASSOCIATES, INC.
 ENGINEERING • PROJECT MANAGEMENT • SURVEYING
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

CHICAGO TITLE SITE PLAN/LANDSCAPING PLAN
1006 RIDGE ROAD
 CITY ROCKWALL,
 ROCKWALL COUNTY, TEXAS

REVISION	W.L.D.
CHECKED	
DRAWN	DLL
SCALE	1" = 10' H 1" = 5' V
DATE	MAY 14, 2020
PROJECT	20011
	20